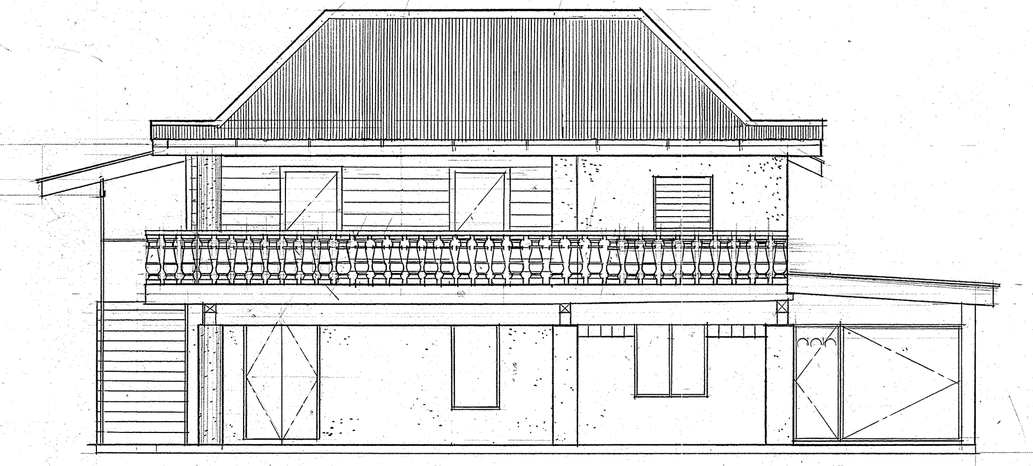
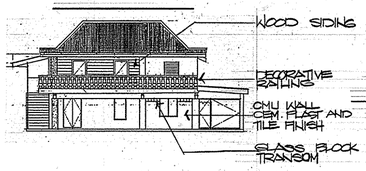
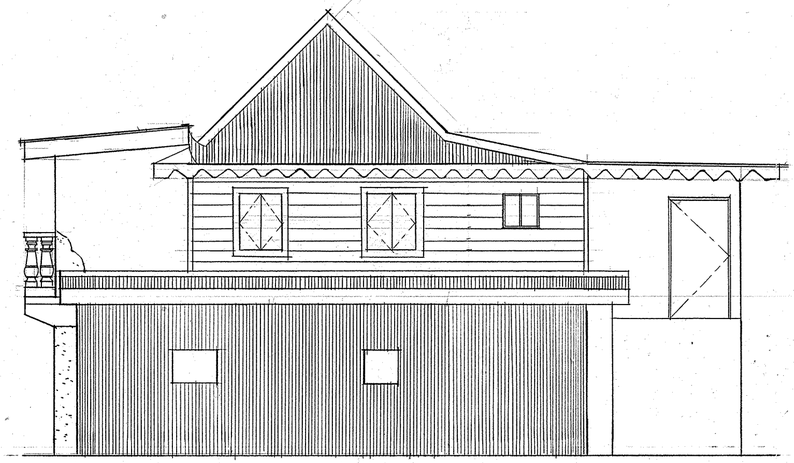
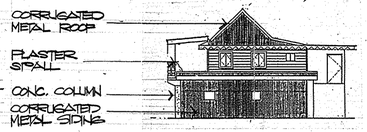




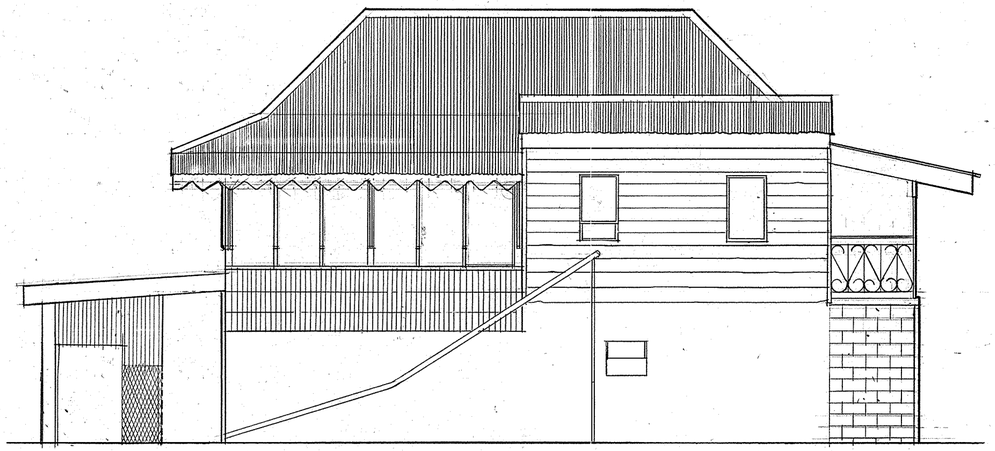
ELEVATION
1/4"=1'-0"

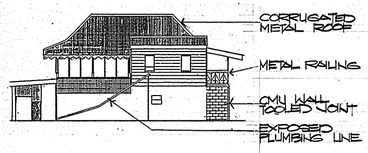


PLAN INDEX

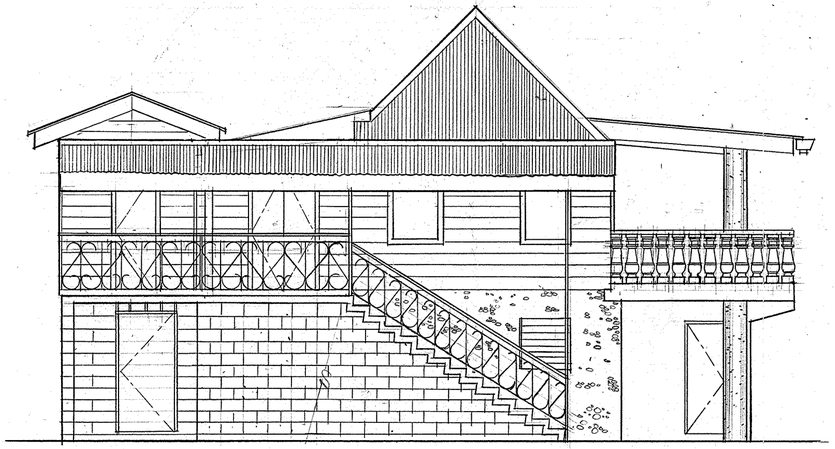


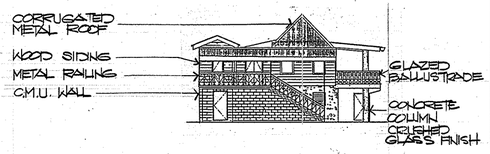
ELEVATION
1/4"=1'-0"





3 **ELEVATION**
1/4"=1'-0"





ELEVATION
1/4"=1'-0"

REVISIONS

No.	Description	Date

American Institute of Architects
Guam and Micronesia Chapter

ERIC R. NELSON
CERTIFICATE No. 211
TERRITORY OF GUAM
REGISTERED ARCHITECT

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION.

Design
Drawn DL
Checked ERN
Date 12-19-91

Guam Preservation Trust
GPT
490 Chalan Palasyo
Agana Heights, Guam

Approved
Date

Project
GEORGE S.N. FLORES HOUSE

CONTRACT NO.:
PTH 91-004
LOT NO. 63

Title
EXTERIOR ELEVATIONS

Drawing No. 5

Sheet No. 5 of 5

HISTORICAL PRESERVATION TRUST
GEORGE FLORES HOUSE
INARAJAN, GUAM

ARCHITECT

HNC
ARCHITECTS, INC

SUITE 300
316 HERNAN CORTES
AGANA, GUAM
96910
(671) 477-2111
(671) 477-2125 FAX

STRUCTURAL

N.C. MACARIO, P.E.

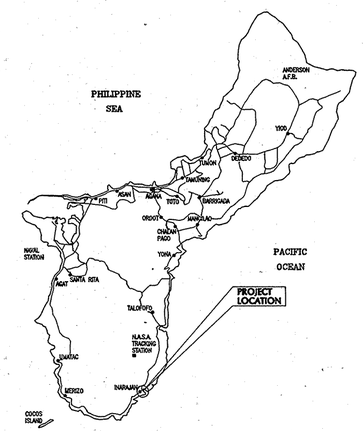
CONSULTING ENGINEER
SUITE 218
JULALE SHOPPING CENTER
P.O.BOX 784, AGANA, GUAM
TEL (671) 472-3047/8/9
FAX. (671) 472-3126

MECHANICAL/ELECTRICAL

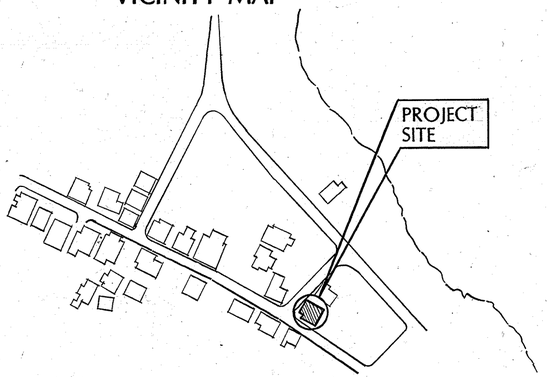
WINZLER AND KELLY
CONSULTING ENGINEERS

SUITE 904, G.C.I.C. BUILDING
AGANA, GUAM 96910
TEL. (671)472-6792
FAX. (671)477-6229

LOCATION MAP



VICINITY MAP



SYMBOLS

- CONSTRUCTION NOTE
- DEMOLITION NOTE
- DETAIL SYMBOL
- INTERIOR ELEVATION SYMBOL
- PAINT COLOR SYMBOL
- SECTION SYMBOL
- ROOM DESIGNATION NUMBER
- WINDOW TYPE

ABBREVIATIONS

A

A.F.F.	Above Finished Floor
ACOUST.	Acoustical
ADD.	Addendum
ADJ.	Adjacent
ADJ.	Adjustable
AGG.	Aggregate
A/C	Air Conditioning
ALM.	Alarm
ALLOW.	Allowance
ALT.	Alternate
Al or Alum	Aluminum
AC	American Concrete Institute
AIA	American Institute of Architects
AISC	American Institute of Steel Construction
ANSI	American National Standards Institute
ASHRAE	American Society of Heating, Air Conditioning and Refrigeration Engineers
ASTM	American Society for Testing and Materials
AWWA	American Waterworks Association
AMP.	Ampere
A.B.	Anchor Bolt
	Angle
ARCH.	Architectural
@	At
ASPH.	Asphalt(ic)
ASSY.	Assembly
AUTO.	Automatic

B

BSMT.	Basement
BM.	Beam
B/M	Benchmark
BLK.	Block(ing)
BD.	Bd.
BOT.	Bottom
BRKT.	Bracket
BRZ.	Bronze
B.T.U.	British Thermal Unit
BLDG.	Building
B.L.	Building Line
B.U.R.	Built-up Roofing

C

CAB.	Cabinet
CPT.	Carpet
C.I.P.	Cast-in-place
C.I.	Cast Iron
CLKG.	Caulking
CLG.	Ceiling
C.H.	Ceiling Height
CEM.	Cement
CL	Centerline
CTR.	Center
CER.	Ceramic
C.T.	Ceramic Tile
C.O.	Cleanout
CLO.	Closet
COL.	Column
COMP.	Compound
CONC.	Concrete
CONC.	Concrete
C.M.U.	Concrete Masonry Unit
CONST.	Construction
CONT.	Continue or Continuous
CONTR.	Contractor
CJ.	Control Joint
CORR.	Corrugated
CSK.	Countersink
COS.	Courses
CFM	Cubic Feet per Minute
CU. FT.	Cubic Foot
CU. IN.	Cubic Inch
CU. YD.	Cubic Yard

D

D.P.	Dampproofing
DEG. or °	Degree
DEPT.	Department
DET.	Detail
DIA.	Diameter
DIM.	Dimension
DI or '	Ditto
DIV.	Division
DR.	Door
DBL.	Double
DN.	Down
D.S.	Downspout
DWG.	Drawing
D.F.	Drinking Fountain
D.W.	Drywall
DUPL.	Duplicate

E

E.	East
EA.	Each
E.W.	Each Way
ELAST.	Elastomeric
ELEC.	Electric
E.W.C.	Electric Water Cooler
EL.	Elevator
ELEV.	Elevation
ENCL.	Enclosure
ENGR.	Engineer
EQ.	Equal
EQUIP	Equipment
EXH.	Exhaust
EXIST.	Existing
E.J.	Expansion Joint
EXT.	Exterior
E.P.S.	Exterior Paint System
EXTR.	Extrusion

F

FAB.	Fabrication
F.O.C.	Face Of Curb
FT. or '	Foot or Feet
F.D.	Floor Drain/Drain
F.E.C.	Fire Extinguisher Cabinet
F.H.C.	Fire Hose Cabinet
FIG.	Figure
FIN.	Finish
FIXT.	Fixture
FL.G	Flashing
F.L.	Floor Line
F.D.	Floor Drain
FLUOR.	Fluorescent
FTG.	Ftg.
FDNO.	Foundation

G

GAL.	Gallon
GALV.	Galvanized
G.I.	Galvanized Iron
GA.	Gauge
GEN.	General
GL.	Glass
G.V.A.	Guam Power Authority
G.T.A.	Guam Telephone Authority
GYP.	Gypsum

H

HDBD.	Hardboard
HDW.	Hardware
HD.	Head
HTR.	Heater
HT.	Height
H.P.	High Point
H.M.	Hollow Metal
HOR.	Horizontal
H.B.	Hose Bib
H.W.	Hot Water
HR.	Hour
HSE.	House
HYD.	Hydraulic

I

INPG.	Impregnate
IN. or "	Inch
INCL.	Include
INC.	Incorporated
INFO.	Information
I.D.	Inside Diameter
INSUL.	Insulation
INT.	Interior
I.P.S.	Interior Paint System
I.O.C.	Item of Change

J

JT.	Joint
JCT.	Junction

K

KD.	Knock down
K.O.	Knock out

L

L.P.	Low Point
LAB.	Laboratory
LAM.	Laminate
LAV.	Lavatory
L.O.A.	Length Overall
LT.	Light
LIN.	Linear
LG.	Long

M

MH.	Manhole
MAN.	Manual
MFR.	Manufacturer
MSRY.	Masonry
M.O.	Masonry Opening
MATL.	Material
MAX.	Maximum
MECH.	Mechanical/Electrical/Plumbing
MCH.	Machine
MED.	Medium
MEMB.	Membrane
MEMO	Memorandum
MET.	Metal
MIN.	Minimum
MISC.	Miscellaneous

N

NATL	National
NAT.	Natural
NEG.	Negative
NOM.	Nominal
N.	North
N.I.C.	Not in Contract
N.T.S.	Not to Scale
N.S.F.	National Sanitation Foundation

O

OFF.	Office
O.C.	On Center
OPG.	Opening
OPP.	Opposite
OPH.	Opposite Hand
ORIG.	Original
O.A.	Overall
O.D.	Opening Dimension or Outside Diameter
O'HD	Overhead

P

PG.	Page
PTD.	Painted
PR.	Pair
PL.	Plate
PTN.	Partition
	Penny
PL.	Place
PLAS.	Plastic
PL. LAM.	Plastic Laminate
PL or	Property Line
PLB.	Plumber
PLBG.	Plumbing
PLYWD.	Plywood
PNEU.	Pneumatic
PT.	Point
POL.	Polished
PVC	Polyvinyl Chloride
P.S.F.	Pounds per Square Foot
PSF	Pounds per Square Foot
PSI	Pounds per Square Inch
PREFAB.	Prefabricated
PROJ.	Project
PROP.	Property
P.U.A.G.	Public Utility Agency of Guam
P.U.E.	Public Utility Easement

Q

QUAL.	Quality
QT.	Quart

R

RAD. or R	Radius
RD.	Road
RE	Reference (in REguard to)
RECPT	Receptacle
REFR	Refrigeration
REINF	Reinforcing
R.F.P.	Request For Proposal
REQD.	Required
RES.	Resilient
REV.	Revision/s
R.O.W	Right of Way
R	Riser
RD.	Road
RM.	Room
R.O.	Rough Opening

S

SAN.	Sanitary
SCHED.	Schedule
SECT.	Section
SECT.	SECTION
SVC.	Service
SEW.	Sewer
SH	Sheathing
SHT.	Sheet
SIM.	Similar
S.C.	Solid Core
S.	South
SPEC.	Specified
SQ.	Square
S.S.	Stainless Steel
STD.	Standard
ST.	Steel
STL.	Steel
STRUCT.	Structural
SUSP.	Suspended
SYM.	Symmetrical

T

TAN	Tangent
TECH.	Technical
TEL.	Telephone
TV.	Television
TEMP.	Temporary
TERR.	Terrazzo
THK.	Thick
THRD.	Thread
T.O.C.	Top of Curb
T.O.S.	Top of Steel
T.O.W.	Top of Wall
T.	Tread
TYP.	Typical

U

UL	Underwriters Laboratories
U.N.O.	Unless Noted Otherwise
URI	Urinal

V

VAR.	Varies
VENT.	Ventilate
VE.	Versus
VERT.	Vertical
VEST.	Vestibule
V.V.C.	Vinyl Wall Covering
V.	Volt

W

W.C.	Water Closet
W.H.	Water Heater
W.P.	Waterproofing
W.	Watt
WT.	Weight
W.W.F.	Welded Wire Fabric
W.	West
WD.	Wide
W.F.	Wide Flange
W/	With
W/O	Without
WD	Wood
WP.	Work Point

Y

YD.	Yard
YR.	Year

INDEX OF DRAWING

SATISFACTORY TO:

Henry Flores 10-10-96
OWNER DATE

APPROVED BY:

11.19.96
RESTORATION ARCHITECT DATE

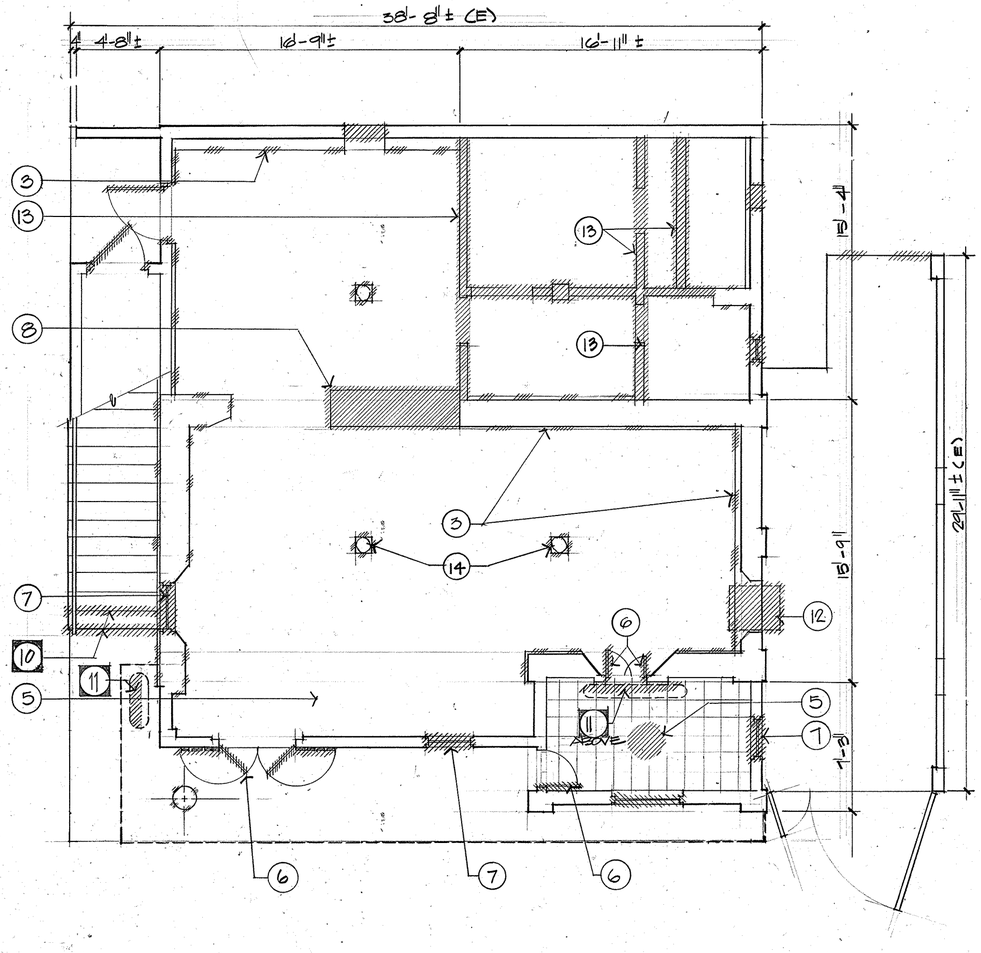
GENERAL NOTES

1. DO NOT DISASSEMBLE THIS SET. COVER SHEET IS A MASTER INDEX, SYMBOLS AND OTHER ITEMS MAY BE INCLUDED ON ADDITIONAL SHEETS. VERIFY EXISTING CONDITIONS, NOTIFY THE CONTRACTOR OF DISCREPANCIES.
2. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL, ELECTRICAL SYSTEMS. AS SCOPE DOCUMENTS, THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. DECISIONS OF THE ARCHITECT AS TO THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THIS DOCUMENT SHALL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER.
3. THE USE OF REPRODUCTIONS OF THESE CONTRACT DRAWINGS BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES HIS ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT, AND OBLIGATES HIMSELF TO ANY JOB EXPENSE, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR HEREON.
4. THIS PROJECT INVOLVES THE RENOVATION OF THE EXTERIOR AND INTERIOR SPACES OF AN EXISTING BUILDING. THE SUBCONTRACTOR IS ASSUMED TO BE FAMILIAR WITH ALL EXISTING CONDITIONS AND THEIR INFLUENCE UPON THE SCOPE OF WORK.
5. ALL EXISTING DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE WORK IS TO BE STARTED AND THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES.
6. ALL NOTES ON ARCHITECTURAL DRAWINGS REFER TO NEW CONSTRUCTION OR MATERIALS. EXISTING MATERIALS ARE CONSTRUCTION ARE SPECIFICALLY CALLED OUT AS EXISTING.
7. ALL WORK SHAL BE PERFORMED IN ACCORDANCE WITH STANDARDS OF BEST PRACTICE BY WORKERS SKILLED IN THEIR RESPECTIVE TRADES. APPROVED ALTERNATES OR SUBSTITUTIONS SHALL BE EQUAL TO WORK OF SIMILAR TYPE, CHARACTER AND MATERIAL SPECIFIED BY THE CONTRACTOR.
8. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE TERRITORY OF GUAM AND APPLICABLE TO REGULATORY AGENCIES.

I CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

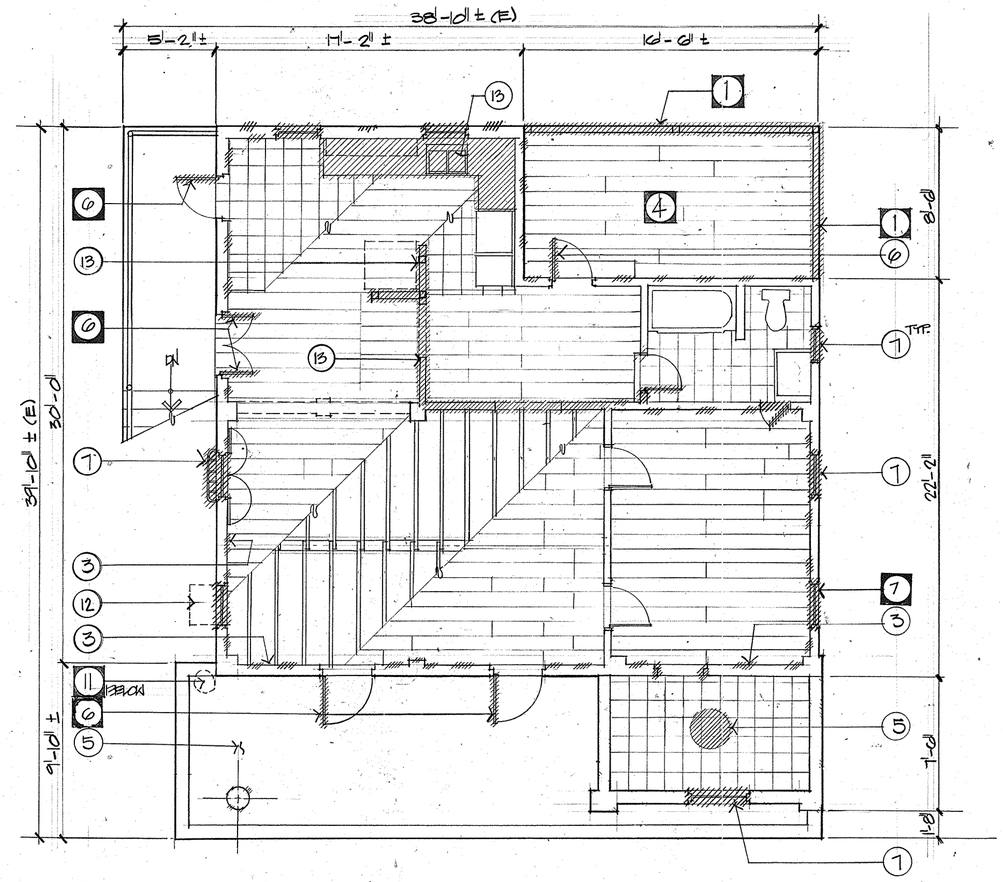
ERIC R. NELSON
CERTIFICATE No. 211
GUAM
REGISTERED ARCHITECT

AS DEFINED IN TITLE XVIII OF THE RULES AND REGULATIONS OF THE PROFESSIONAL ENGINEERS, ARCHITECTS, AND LAND SURVEYORS OF THE TERRITORY OF GUAM.



1 DEMOLITION BODEGA FLOOR PLAN

1/4" = 1'-0"



2 DEMOLITION SECOND FLOOR PLAN

1/4" = 1'-0"

DEMOLITION NOTES:

1. EXTERIOR WOOD WALLS: REMOVE WALLS INDICATED, REPLACE DAMAGED IFIL WOOD FRAMING AND WOOD SIDING WHERE OCCUR.
2. NOT USED.
3. INTERIOR PARTITION: REMOVE AS INDICATED AND SALVAGE ALL IFIL WOOD FRAMING &/OR REMOVE ALL WOOD PANELING AND FURRING STRIP. (N.I.C.)
4. FLOOR: REMOVE TERMITE DAMAGED FRAMING. REPLACE WITH TREATED WOOD. SEE NEW PLANS.
5. FLOOR FINISH: REMOVE EXISTING FLOOR FINISH, CLEAN AND PREP. EXISTING CONCRETE FLOOR FOR NEW FINISH AS SCHEDULED (NOT IN CONTRACT)
6. DOORS: REMOVE DOOR, FRAME AND FRAME CASING, SALVAGE ALL ORIGINAL PANELED DOORS.
7. WINDOWS: REMOVE ALL WINDOWS, SEE WINDOW SCHEDULE. REMOVE METAL GRILL.
8. CABINETS: REMOVE ALL WALL AND BASE CABINETS AND WALL SHELVES AS INDICATED (NOT IN CONTRACT, N.I.C.)
9. FIXTURES: REMOVE KITCHEN SINK, WATER CLOSET, TUB AND LAVATORY, REPLACE WITH ALL NEW FIXTURES. SEE PLUMBING PLANS FOR NEW PLUMBING. (N.I.C.)
10. EXISTING STAIR: REMOVE EXISTING FINISH WHERE DAMAGED
11. CONCRETE SPALL: REMOVE ALL LOOSE DEBRIS CLEAN AND PREP. FOR NEW FINISH AS SCHEDULED.
12. A/C: WINDOW TYPE UNIT TO BE REMOVED & PRESERVED FOR OWNER. (N.I.C.)
13. IMPROVEMENT BY OWNER. (N.I.C.)
14. REMOVE ALL FINISHES, PROTECT IFIL WOOD COLUMN. (N.I.C.)

☐ INDICATED AS BASE BID ITEMS.

*NOTE
SCOPE OF WORK IS FOR
ITEMS DESIGNATED
"BASE BID" ONLY RR 11.19.96

The undersigned declares hereby acknowledge that all design and payment issues shown on this page have been explained by the GPT. By signing below, two acknowledge that we understand and agree to the issues.

George Flores 10-22-96
Owner Date

Owner Date

Owner Date

Owner Date

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.

CONTRACT NO. PTA91-025

DATE: 09/19/96

DESIGN BY: ERN

DRAWN BY: JS

CHECKED BY: ERN

I CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ERIC R. NELSON CERTIFICATE No. 211 GUAM REGISTERED ARCHITECT

AS DEFINED IN TITLE XVIII OF THE RULES AND REGULATIONS OF THE PROFESSIONAL ENGINEERS, ARCHITECTS, AND LAND SURVEYORS OF THE TERRITORY OF GUAM.

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

DEMOLITION BODEGA AND SECOND FLOOR PLAN

RECOMMENDED APPROVAL DATE: 11.19.96

GUAM PRESERVATION TRUST DATE:

HNC ARCHITECTS, INC
SUITE 300
316 HERNAN CORTES
AGANA, GUAM 96910
TEL: (671) 477-2111
FAX: (671) 477-2125

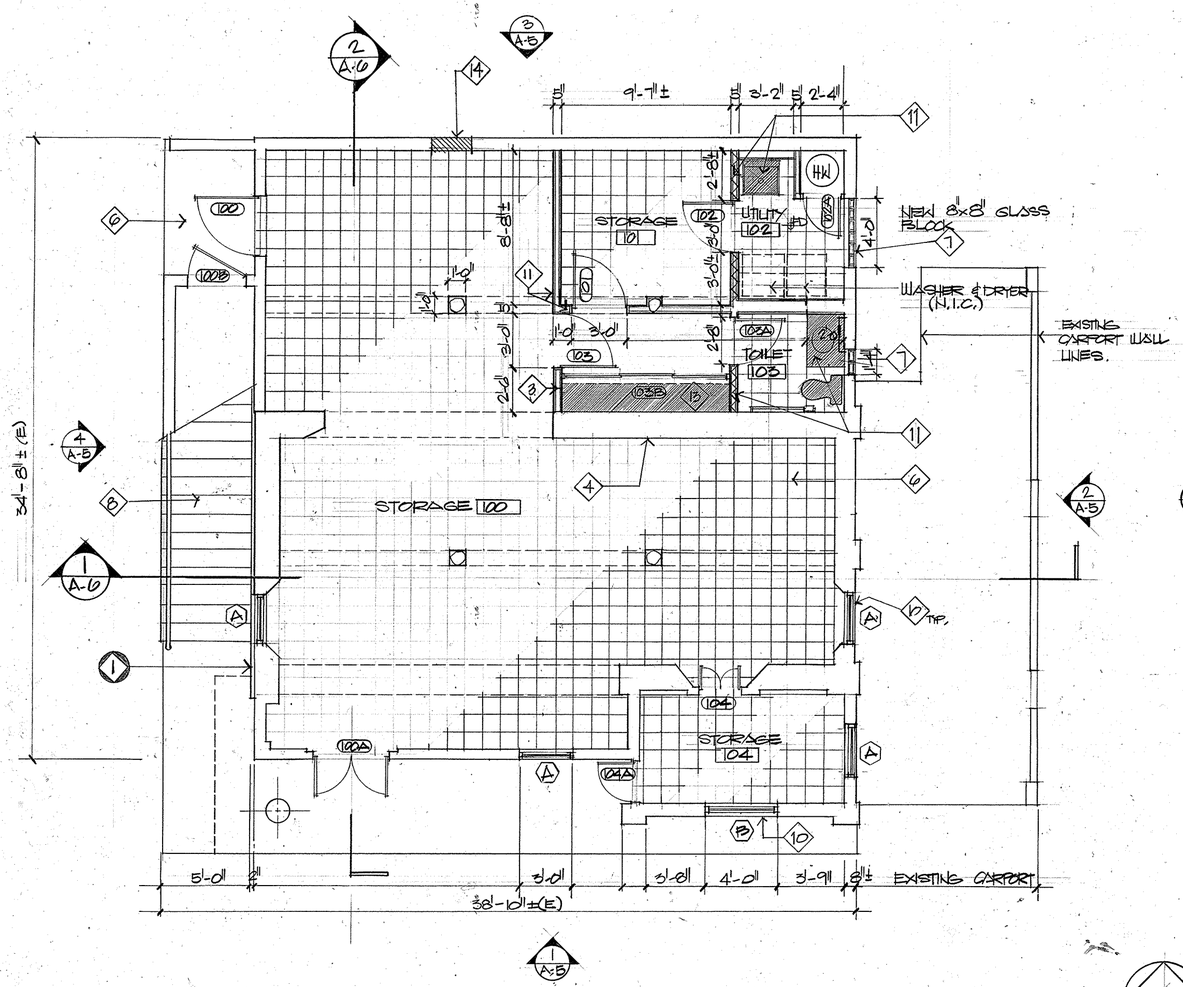
DRAWER NO.

DRAWING NUMBER: A-1

SHEET 2 OF 14

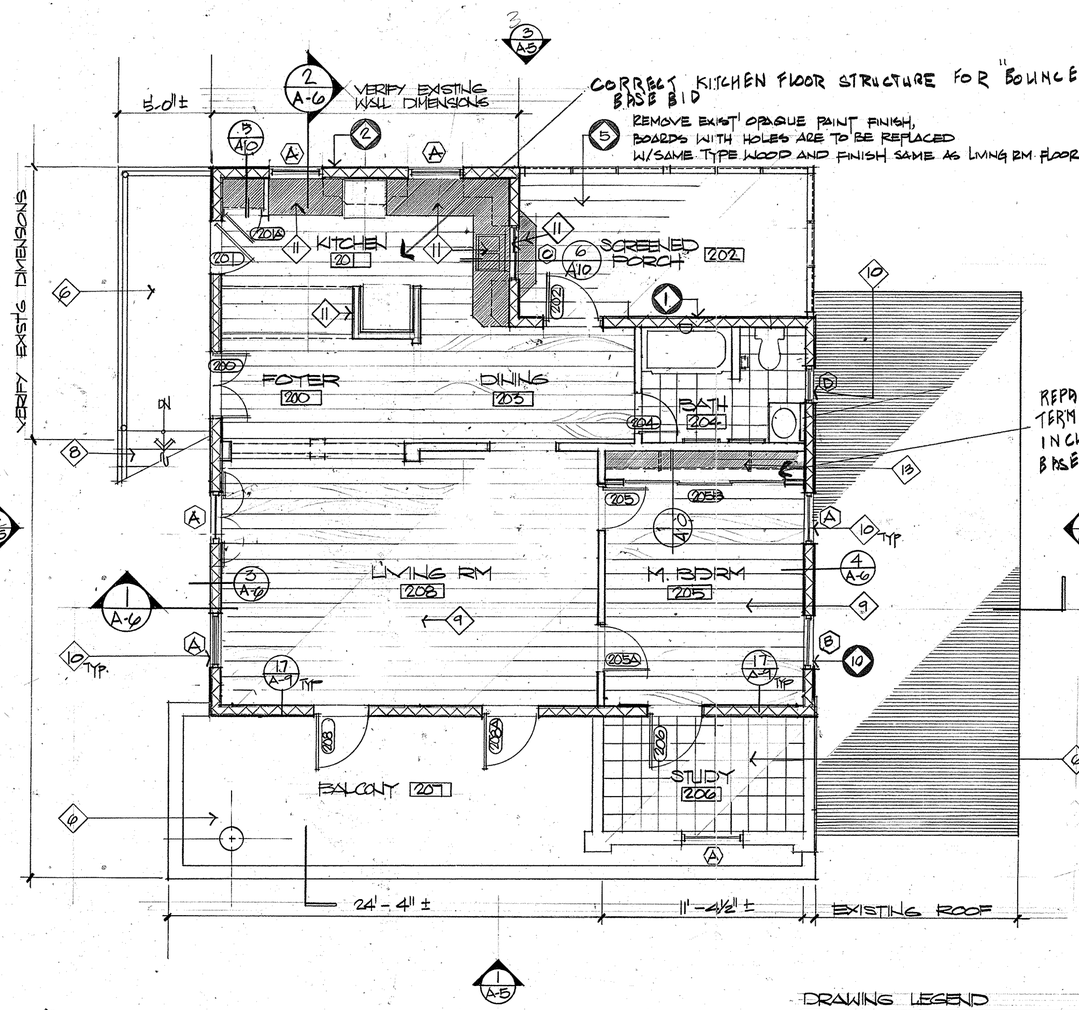
A-2

GEORGE FLORES HOUSE



1 NEW BODEGA FLOOR PLAN

1/4" = 1'-0"



2 SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

DRAWING LEGEND

- NEW WALL WITH INSULATION
- NEW INTERIOR PARTITION
- NEW 8" CMU WALL
- EXISTING WALL

KEY NOTES

1. EXISTING EXTERIOR WALLS: CLEAN AND PATCH TO MATCH EXISTING, FINISH REQUIRED
2. EXTERIOR WALLS: EXISTING WOOD SIDING, NEW PAINT FINISH
3. NEW INTERIOR WALL PARTITION: METAL STUD FRAMING WITH 1/2" THICK GYPSUM BOARD, (N.I.C.)
4. EXISTING INTERIOR WALL: METAL STUD FRAMING WITH 1/2" THICK GYPSUM BOARD (N.I.C.)
5. EXISTING FLOOR: INFL WOOD FLOOR FRAMING AND FINISH TO REMAIN, REPLACE MISSING OR TERMITE DAMAGED FRAMING WITH PRESSURE TREATED WOOD. REPLACE FINISH FLOORING, WITH WOOD OF SAME OR EQUIVALENT WOOD SPECIES.
6. EXISTING CONCRETE FLOOR: CLEAN AND FINISH AS SCHEDULED (N.I.C.)
7. NEW GLASSBLOCK INFILL (NOT IN CONTRACT)
8. EXISTING CONCRETE STAIR: PATCH AND REFINISH STAIR WITH NON-SLIP COATING, (N.I.C.)
9. SURVEY FLOORS & REPLACE DAMAGE MATERIAL W/ SIM. MATERIAL (N.I.C.)
10. NEW WINDOW: NEW WINDOWS AS SCHEDULED
11. IMPROVEMENT(S) BY OWNER (N.I.C.)
12. NEW TUBS, WATER CLOSET, VANITY AND LAVATORY, TYP. (N.I.C.)
13. PROVIDE 1 3/8" DIAMETER STAINLESS STEEL CLOSET BAR WITH END BRACKETS AND 11"x12" SHELF, FULL WIDTH AT STORAGE CLOSET FURNISH SHELF AND CLOSET BRACKET (STANLEY 7046) AT 36" O.C, MAXIMUM SPACING AS REQUIRED. (N.I.C.)
14. NEW CMU INFILL, CEMENT PLASTER FINISH TO MATCH EXISTING.

◇ INDICATED AS BASE BID ITEM.

The undersigned owners hereby acknowledge that all design and provisions shown on this plan have been approved by them, and by signing below, they confirm that they understand and approve these issues.

Owner George Flores 10-10-96 Date

Owner Date

Owner Date

Owner Date

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.

CONTRACT NO. PTA91-025

DATE: 09/19/96

DESIGN BY: ERN

DRAWN BY: JS

CHECKED BY: ERN

I CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

FRID R. NELSON CERTIFICATE No. 211 GUAM REGISTERED ARCHITECT

AS DEFINED IN TITLE XVIII OF THE RULES AND REGULATIONS OF THE PROFESSIONAL ENGINEERS, ARCHITECTS, AND LAND SURVEYORS OF THE TERRITORY OF GUAM.

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

NEW BODEGA AND SECOND FLOOR PLAN

RECOMMENDED APPROVAL DATE: 11-19-96

GUAM PRESERVATION TRUST DATE:

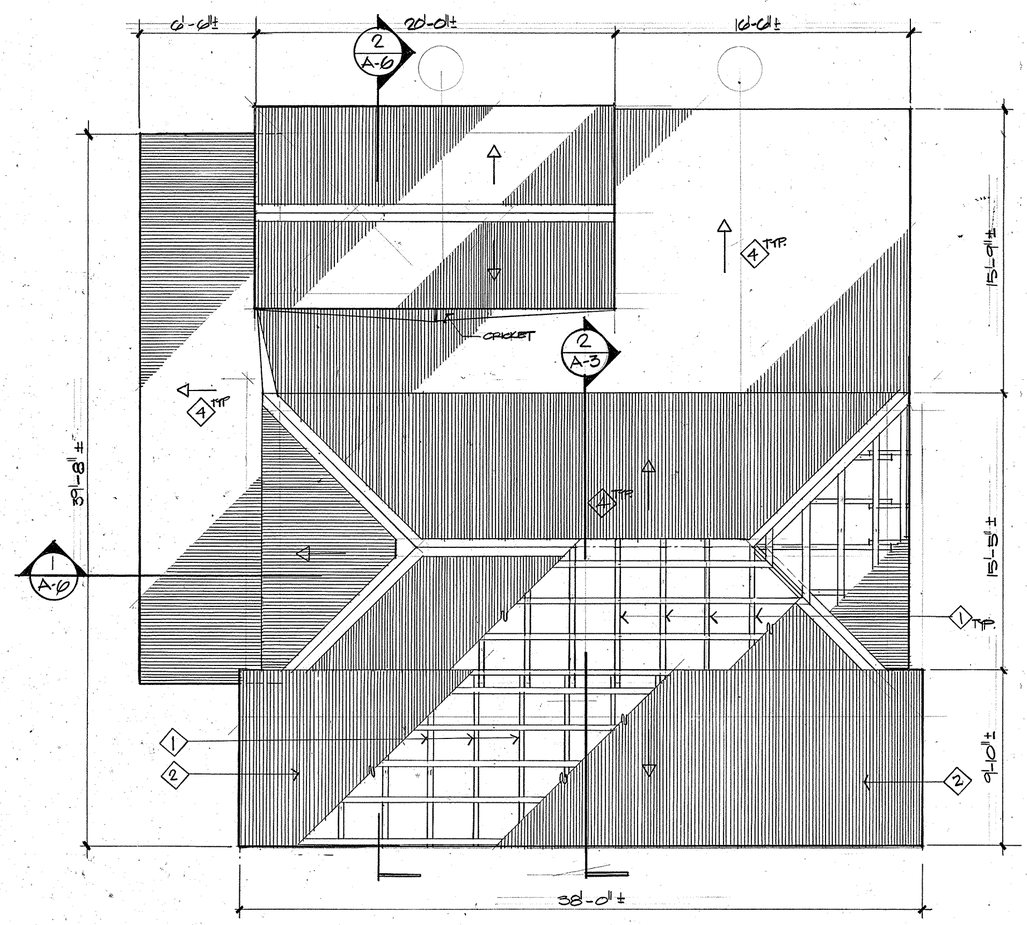
HNC ARCHITECTS, INC
SUITE 300
316 HERNAN CORTES
AGANA, GUAM 96910
TEL: (671) 477-2111
FAX: (671) 477-2125

DRAWER NO.

DRAWING NUMBER: A-2

SHEET 3 OF 14

GEORGE FLORES HOUSE



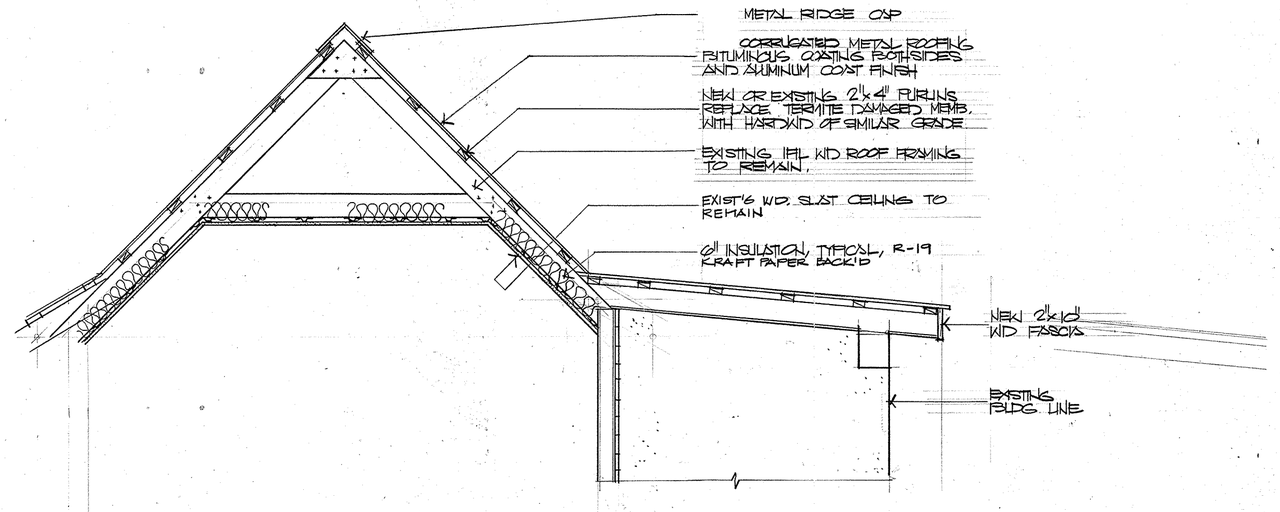
GENERAL NOTES:

1. DIMENSIONS ARE FOR ESTIMATING PURPOSE ONLY, CONTRACTOR TO FIELD VERIFY EXSTG CONDITIONS.
2. CONTRACTOR SHALL INSPECT ROOFING MATERIALS, CAREFULLY REMOVE & PROTECT ALL MATERIAL IN GOOD CONDITION FOR RE-USE. FOR ESTIMATING PURPOSES, REPLACEMENT OF MATERIAL IN EXCESS OF 50% SHALL BE NEGOTIATED ACCORDINGLY

1 **ROOF PLAN**
SCALE 1/4" = 1'-0"

KEYED NOTE:

1. EXSTING 1"FL WOOD FRAMING TO REMAIN, REPLACE DAMAGED FRAMING WITH HARDWOOD OF SIMILAR GRADE.
2. CORRUGATED METAL ROOFING, METAL RIDGE CAP, AND FLASHING, FASTEN ROOFING MATERIAL AS RECOMMENDED BY MANUFACTURER, VERIFY METAL ROOF FINISH WITH OWNER.
3.
4. ROOF TO FOLLOW EXISTING SLOPE.



2 **SECTION**
SCALE 1/2" = 1'-0"

The undersigned certifies hereby acknowledge that all design and incument issues shown on this plan have been explained by the GPT. By signing below, the owner acknowledges that they understand and accept the issues.

Owner 10-10-96 Date

Owner Date

Owner Date

Owner Date

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.

CONTRACT NO. PTA91-025

DATE: 05/15/96

DESIGN BY: ERN

DRAWN BY: JS

CHECKED BY: ERN

I CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ERIC S. NELSON CERTIFICATE NO. 231 REGISTERED ARCHITECT GUAM

AS DEFINED IN TITLE XVII OF THE RULES AND REGULATIONS OF THE PROFESSIONAL ENGINEERS, ARCHITECTS, AND LAND SURVEYORS OF THE TERRITORY OF GUAM.

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

ROOF PLAN AND SECTION

RECOMMENDED APPROVAL DATE: 11-19-96

GUAM PRESERVATION TRUST DATE:

HNC ARCHITECTS, INC
SUITE 300
316 HERNAN CORTES
AGANA, GUAM 96910
TEL: (671) 477-2111
FAX: (671) 477-2125

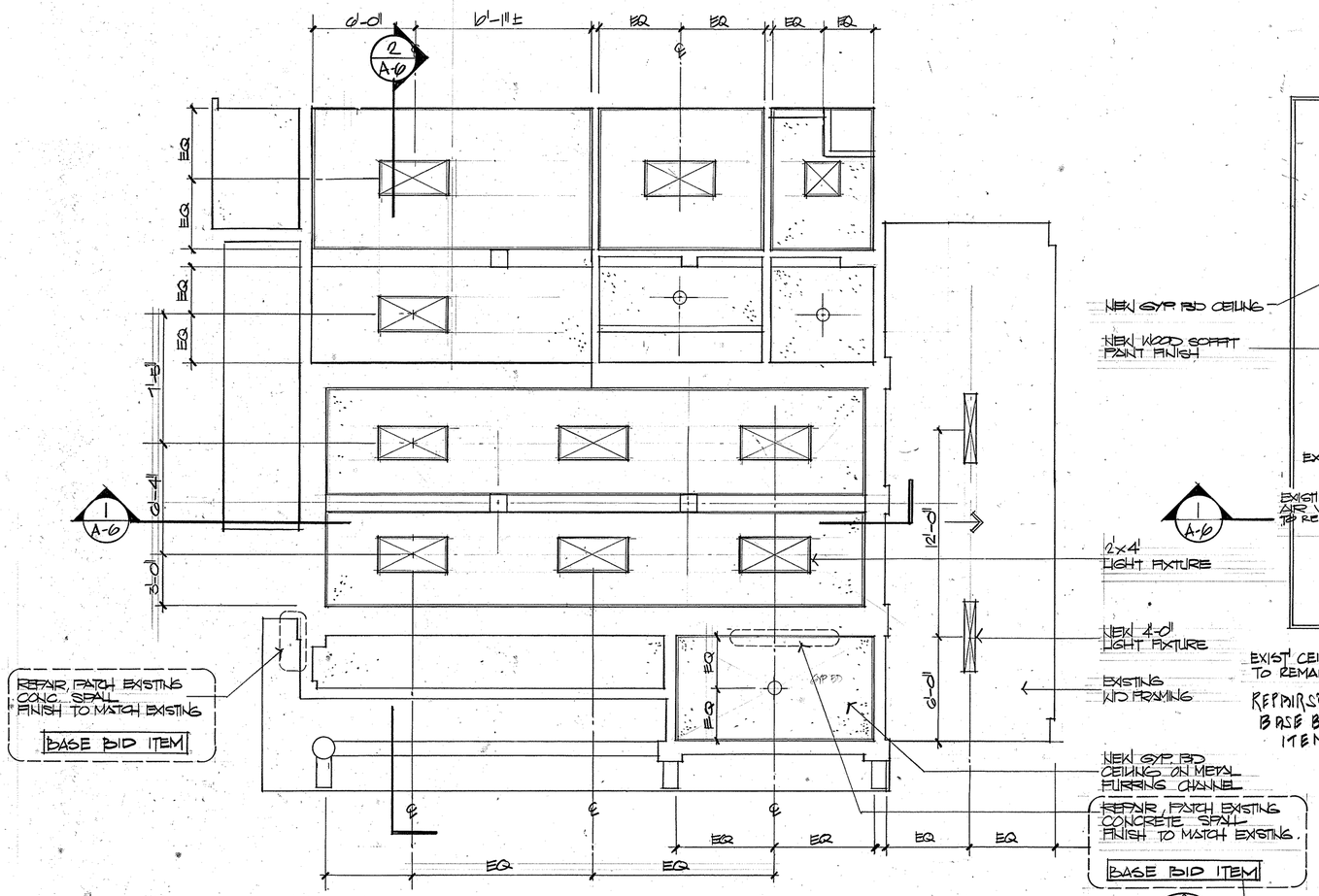
DRAWER NO:

DRAWING NUMBER: A-3

SHEET 4 OF 14

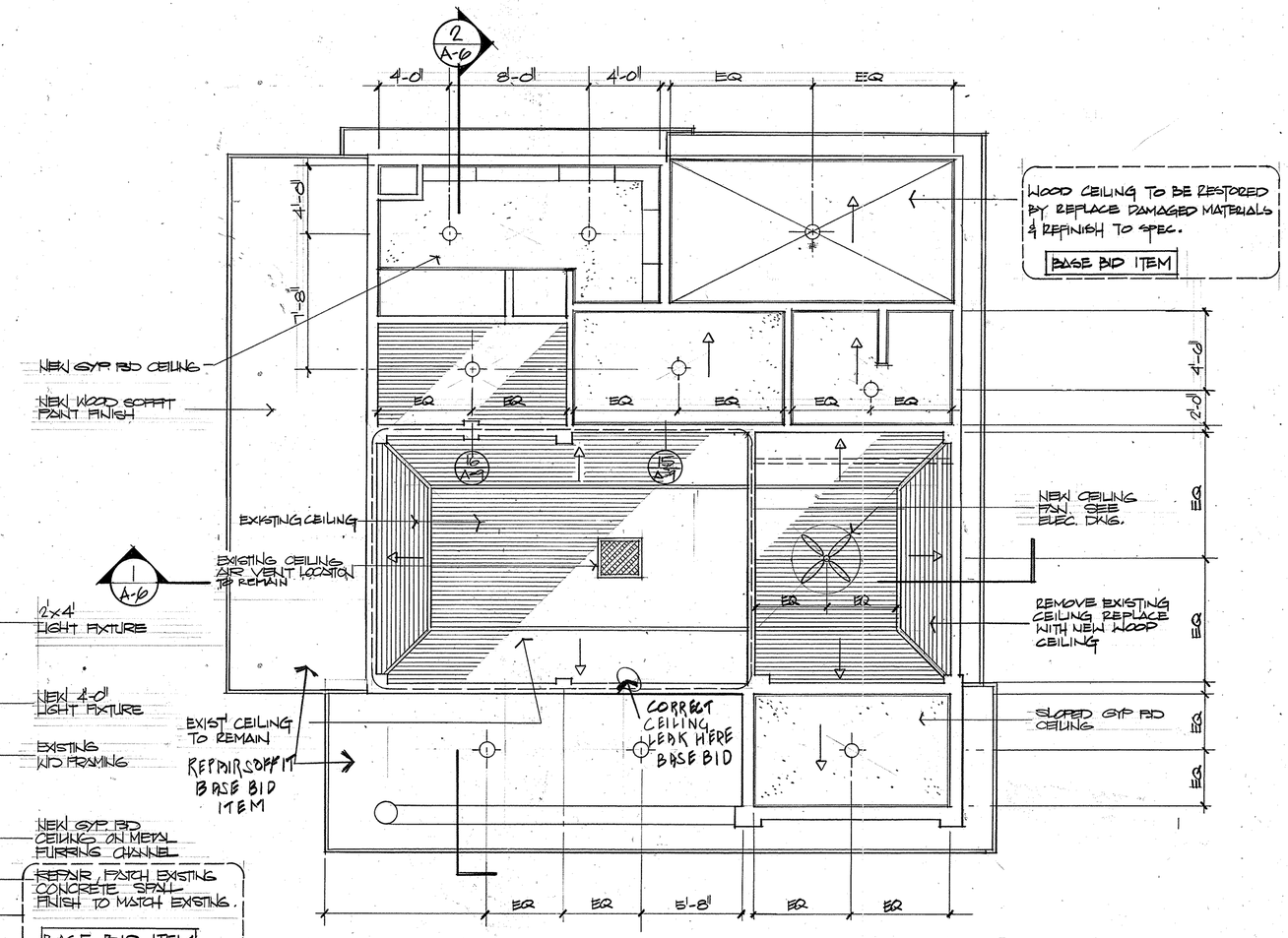
A-3

GEORGE FLORES HOUSE



1 NEW BODEGA REFLECTED CEILING PLAN

SCALE .. 1/4" = 1'-0"



2 NEW SECOND FLOOR REFLECTED CEILING PLAN

SCALE 1/4" = 1'-0"

LEGEND

- 2'x4' (4)-40W SURFACE MOUNT LIGHT FIXTURE
- (2) 40W 4' LONG SURFACE MOUNT LIGHT FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE

The undersigned hereby acknowledge that all design and construction shown on this page have been explained by the GPT, signing below, the undersigned acknowledge that they understand and accept these details.

George Flores 10-10-96
Owner Date

Owner Date

Owner Date

Owner Date

NOTE:
1. ALL ITEMS NOTED ON THIS SHEET SHALL BE NOT IN CONTRACT (N.I.C.) UNLESS SPECIFICALLY NOTED AS A BASE BID ITEM.

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.

CONTRACT NO. PTA91-025

DATE: 09/19/96

DESIGN BY: ERN

DRAWN BY: JS

CHECKED BY: ERN

I CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ERIC R. NELSON CERTIFICATE No. 257 GUAM REGISTERED ARCHITECT

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

REFLECTED CEILING PLANS

RECOMMENDED APPROVAL DATE: 11.19.96

GUAM PRESERVATION TRUST DATE:

HNC ARCHITECTS, INC

SUITE 300
316 HERNAN CORTES
AGANA, GUAM 96910
TEL (671) 477-2111
FAX (671) 477-2125

DRAWER NO.

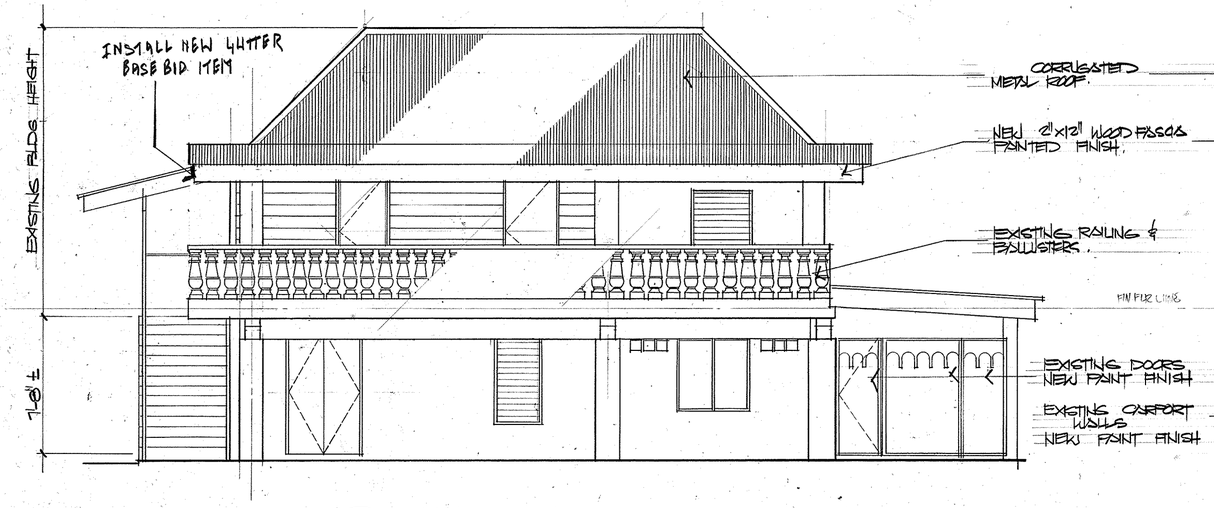
DRAWING NUMBER: A-4

SHEET 5 OF 14

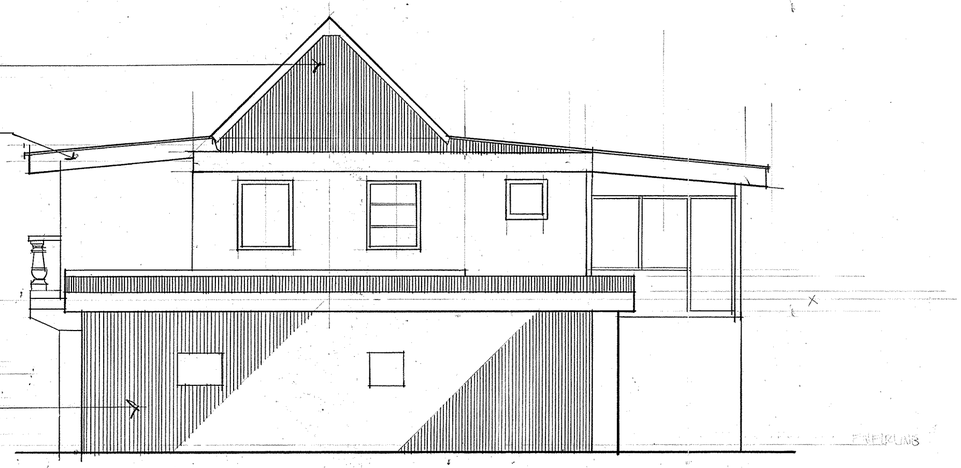
AS DEFINED IN TITLE XVIII OF THE RULES AND REGULATIONS OF THE PROFESSIONAL ENGINEERS, ARCHITECTS, AND LAND SURVEYORS OF THE TERRITORY OF GUAM.

A-4

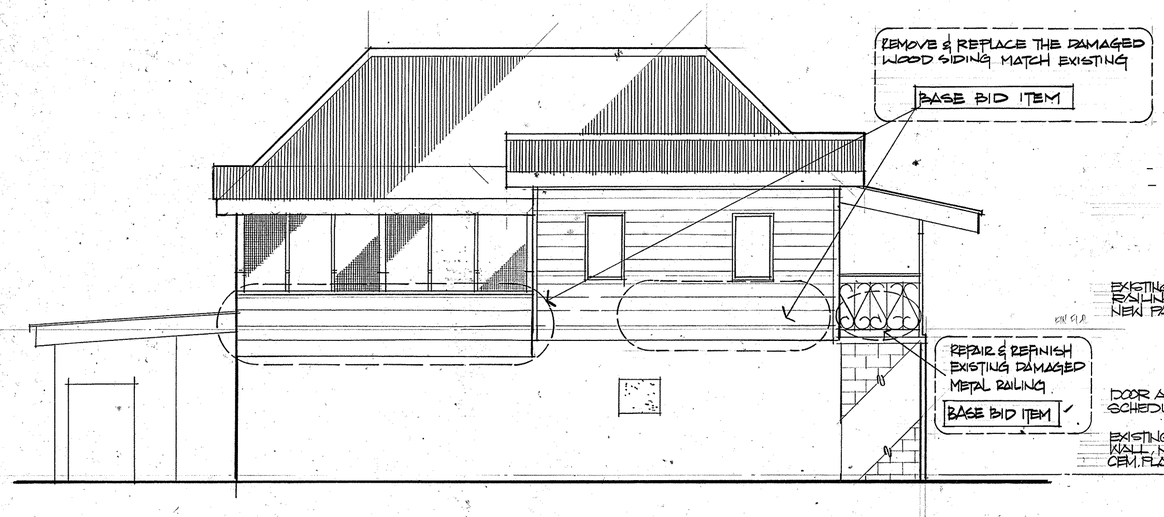
G09165 F009183



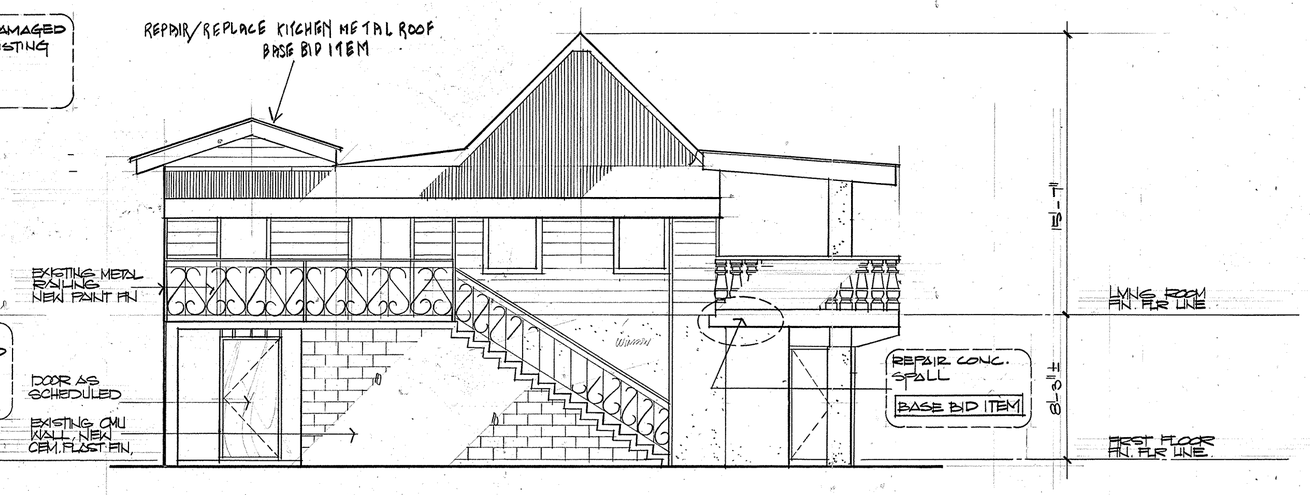
1 **SOUTH ELEVATION**
SCALE 1/4" = 1'-0"



2 **EAST ELEVATION**
SCALE 1/4" = 1'-0"



3 **NORTH ELEVATION**
SCALE 1/4" = 1'-0"



4 **WEST ELEVATION**
SCALE 1/4" = 1'-0"

The undersigned do/does hereby acknowledge that all design and payment issues shown on this page have been explained by the GPT. By signing below, I/we acknowledge that I/we understand and approve these issues.

Owner George Flores Date 10-10-96

Owner Date

Owner Date

Owner Date

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.

CONTRACT NO. PTA91-025

DATE: 09/15/96

DESIGN BY: ERN

DRAWN BY: JS

CHECKED BY: ERN

I CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ERIC R. NELSON CERTIFICATE No. 3 REGISTERED ARCHITECT GUAM

AS DEFINED IN TITLE XVIII OF THE RULES AND REGULATIONS OF THE PROFESSIONAL ENGINEERS, ARCHITECTS, AND LAND SURVEYORS OF THE TERRITORY OF GUAM.

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

EXTERIOR ELEVATIONS

RECOMMENDED APPROVAL DATE: 11-19-96

GUAM PRESERVATION TRUST DATE:

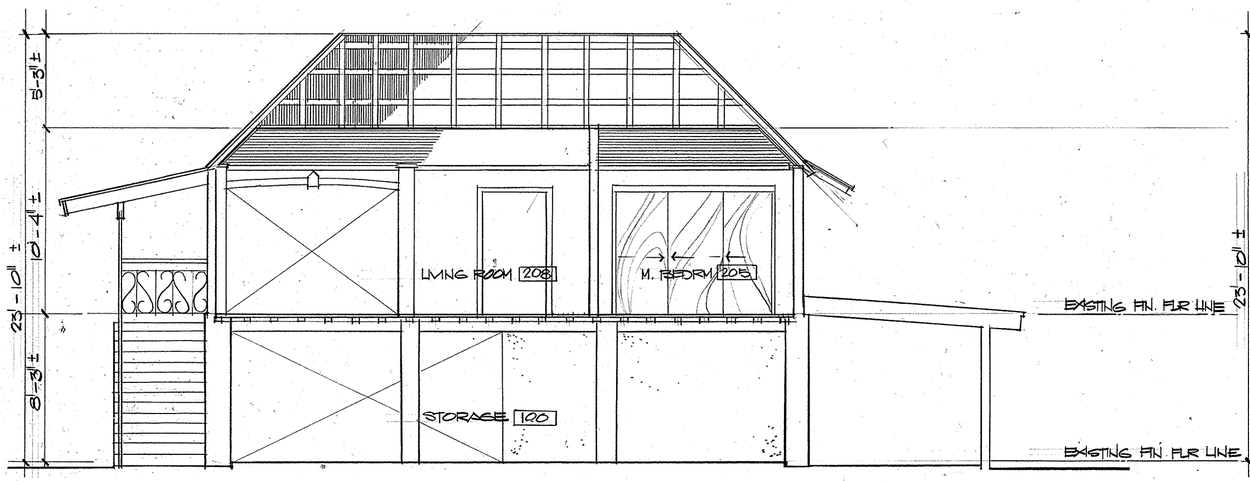
HNC ARCHITECTS, INC
SUITE 300
316 HERNAN CORTES
AGANA, GUAM 96910
TEL: (671) 477-2111
FAX: (671) 477-2125

DRAWER NO:

DRAWING NUMBER: A-5

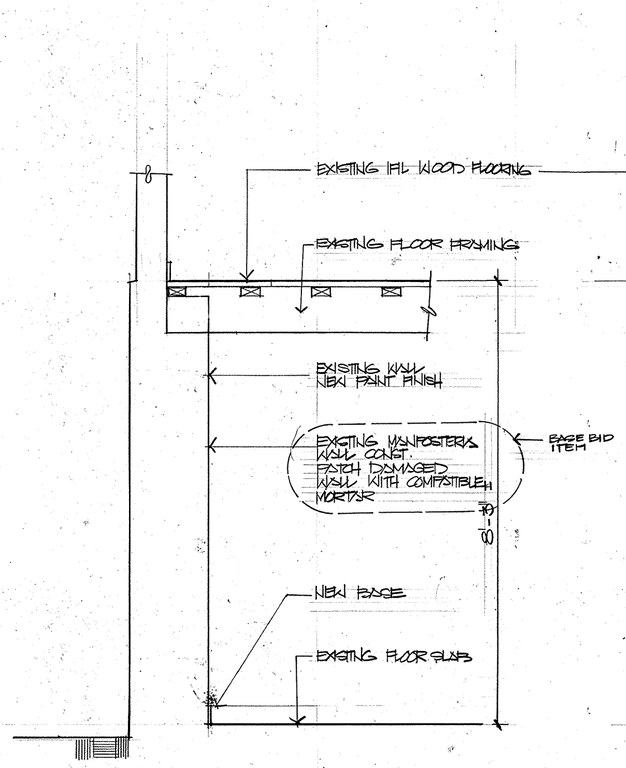
SHEET 6 OF 14

A5

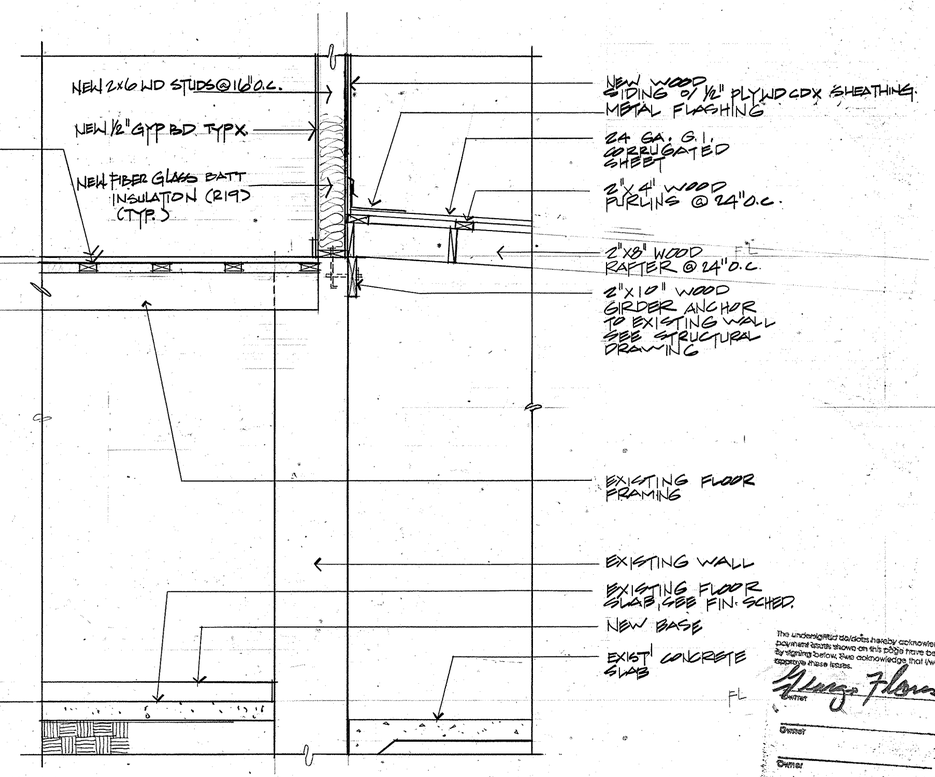


1 **BUILDING SECTION**
SCALE 1/4" = 1'-0"

2 **BUILDING SECTION**
SCALE 1/4" = 1'-0"



3 **SECTION** NOT IN CONTRACT, U.N.O.
SCALE 3/4" = 1'-0"



4 **SECTION** NOT IN CONTRACT
SCALE 3/4" = 1'-0"

The undersigned owner(s) hereby acknowledge that all design and construction details shown on this page have been explained by the G.P.T. By signing below, they acknowledge that they understand and approve these issues.

Owner: George Flores Date: 10-10-96
Owner: Date:
Owner: Date:
Owner: Date:

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.
CONTRACT NO. PTA91-025
DATE: 09/19/96
DESIGN BY: ERN
DRAWN BY: JS
CHECKED BY: ERN

I CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ERIC R. NELSON CERTIFICATE NO. 3 REGISTERED ARCHITECT GUAM

AS DEFINED IN TITLE XVIII OF THE RULES AND REGULATIONS OF THE PROFESSIONAL ENGINEERS, ARCHITECTS, AND LAND SURVEYORS OF THE TERRITORY OF GUAM.

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

BUILDING SECTIONS AND WALL SECTIONS

RECOMMENDED APPROVAL — DATE: 11.19.96

GUAM PRESERVATION TRUST — DATE:

HNC ARCHITECTS, INC
SUITE 300
316 HERNAN CORTES
AGANA, GUAM 96910
TEL: (671) 477-2111
FAX: (671) 477-2125

DRAWER NO:
DRAWING NUMBER: A-6
SHEET 7 OF 14

A-6

GEORGE FLORES HSE

DOOR SCHEDULE • GEORGE FLORES HSE

FIRST FLOOR

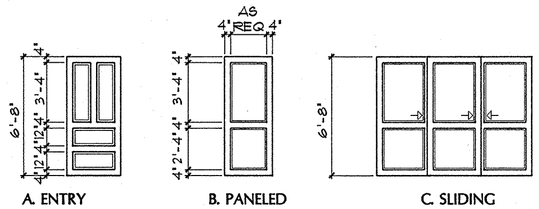
* – DOOR BY OWNER

	DOOR NO.	SIZE (W X H)	DOOR TYPE	MATERIALS: DOOR	MATERIALS: FRAME	DETAILS: HEAD	DETAILS: JAMB	DETAILS: THRES	HARD WARE SET	REMARKS
	100	AS REQ	A	WOOD	WOOD	10/A-9	11/A-9	1/A-9	1	
	100A	(2) AS REQ	A			10/A-9	11/A-9	1/A-9	2	
	100B	AS REQ	B			10/A-9	11/A-9	1/A-9	1	
*	101	2'-8" x 6'-8"	B			9/A-9	9/A-9		7	
*	102	2'-8" x 6'-8"	B			9/A-9	9/A-9		7	
*	102A	2'-0" x 6'-8"	B			9/A-9	9/A-9		10	
*	103	2'-8" x 6'-8"	B			9/A-9	9/A-9		7	
*	103A	2'-8" x 6'-8"	B			9/A-9	9/A-9		6	
	104	(2) AS REQ	B			9/A-9	8/A-9		8	
	104A	AS REQ	A			10/A-9	11/A-9	1/A-9	1	
	103B	(3)3'-0"x6'-8"	C			6/A-9	5/A-9		9	

SECOND FLOOR

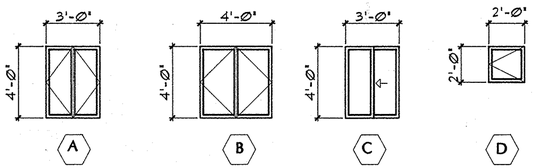
	DOOR NO.	SIZE (W X H)	DOOR TYPE	MATERIALS: DOOR	MATERIALS: FRAME	DETAILS: HEAD	DETAILS: JAMB	DETAILS: THRES	HARD WARE SET	REMARKS
	200	(2) AS REQ	A	WOOD	WOOD	2/A-9	2/A-9	1/A-9	3	
	201	AS REQ	A			2/A-9	2/A-9	1/A-9	4	
*	201A	2'-0" x 6'-8"	B			9/A-9	9/A-9		11	
	202	3'-0" x 6'-8"	A			9/A-9	9/A-9	1/A-9	5	
	204	AS REQ	B			9/A-9	9/A-9			
	205	2'-8" x 6'-8"	B			9/A-9	9/A-9		6	
	205A	2'-8" x 6'-8"	B			9/A-9	9/A-9		6	
	205B	(3)3'-0"x6'-8"	C			6/A-9	5/A-9		9	
	206	AS REQ	B			9/A-9	9/A-9		7	
	208	AS REQ	A			2/A-9	2/A-9	1/A-9	5	
	208A	AS REQ	A			2/A-9	2/A-9	1/A-9	5	

DOOR TYPES



A. ENTRY B. PANELED C. SLIDING

WINDOW TYPES



ROOM FINISH SCHEDULE

FIRST FLOOR BODEGA

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING: FINISH	CEILING: HEIGHT	REMARKS
100	STORAGE	CONC	—	EW	EX	—	
101	STORAGE	CONC	—	EW / GW	EX	—	
102	UTILITY	CONC	—	EW / GW	EX	—	
103	BATHROOM/HALL	T / CONC	CTC / —	CT / GW	EX	—	
104	STORAGE	CONC	—	EW	EX	—	

SECOND FLOOR

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING: FINISH	CEILING: HEIGHT	REMARKS
200	FOYER	WD	WB	GW	EX	—	ATTACH CEILING TO UNDERSIDE OF EXISTING WOOD FRAME
201	KITCHEN	WD	WB	EW / GW	EX	—	
202	SCREENED PORCH	WD	WB	EW / GW	GWC	—	
203	DINING	WD	WB	EW / GW	EX	—	
204	BATHROOM	T	CTC	CT / GW	EX	—	
205	MASTER BEDROOM	WD	WB	EW / GW	EX	—	
206	STUDY	RT	RB	EW / GW	GWC	—	
207	BALCONY	CONC				—	
208	LIVING ROOM	WD	WB	GW	GWC	—	

FINISH INDEX

FLOOR

- CONC. EXPOSED CONCRETE
- RT RESILENT TILE 12"x12"
- T CERAMIC TILE AS SPECIFIED
- WD EXISTING IFIL WOOD FLOOR

BASE

- CTC CERAMIC TILE AS SPECIFIED
- WB WOOD BASE
- RB RUBBER BASE 4" HIGH

WALLS

- CT CERAMIC TILE AS SPECIFIED
- GW GYPSUM WALLBOARD 1/2" THK. PAINTED
- EW EXISTING WALL, PAINTED
- CMU CMU WALL: CEM. PLASTER, PAINT

CEILING

- GWC GYPSUM WALLBOARD 1/2" THK, PAINTED
- EX EXIST'G CLG TO REMAIN

The undersigned do/does hereby acknowledge that all design and payment issues shown on this page have been explained by the/GPT. By signing below, I/we acknowledge that I/we understand and approve these issues.

Owner _____ Date 10-10-96

Owner _____ Date _____

Owner _____ Date _____

Owner _____ Date _____

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.

CONTRACT NO. PTA91-025

DATE: 05/15/96

DESIGN BY: ERN

DRAWN BY: JS

CHECKED BY: ERN

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

DOOR AND INTERIOR FIN. SCHEDULE
DOOR AND WINDOW TYPES

I CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ERIC R. NELSON CERTIFICATE NO. 3 REGISTERED ARCHITECT GUAM

RECOMMENDED APPROVAL _____ DATE: 11.19.96

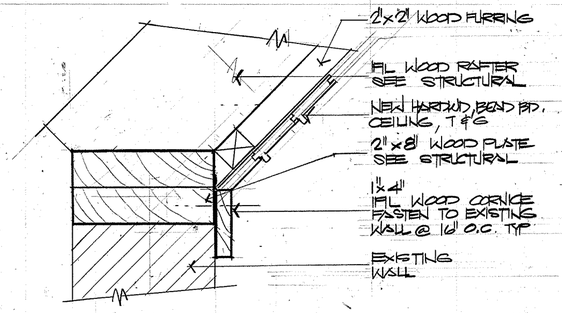
GUAM PRESERVATION TRUST _____ DATE:

DRAWER NO:

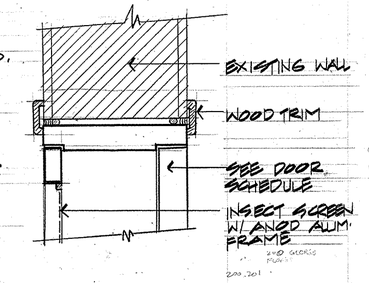
DRAWING NUMBER: A-8

SHEET 8 OF 14

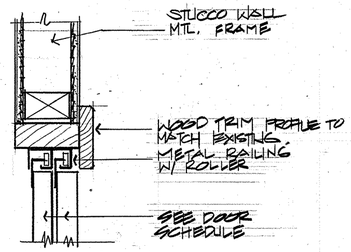
AS DEFINED IN TITLE XVIII OF THE RULES AND REGULATIONS OF THE PROFESSIONAL ENGINEERS, ARCHITECTS, AND LAND SURVEYORS OF THE TERRITORY OF GUAM.



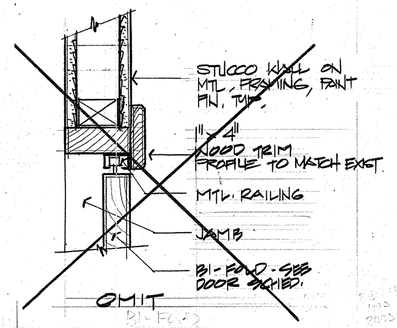
14 **CORNICE DETAIL**
3"=1'-0"



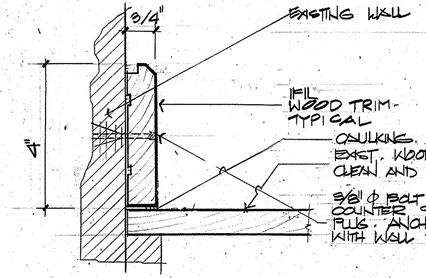
10 **HEAD**
3"=1'-0"



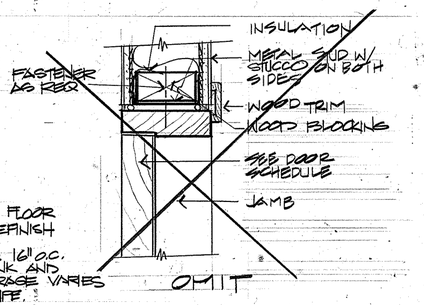
6 **HEAD**
3"=1'-0"



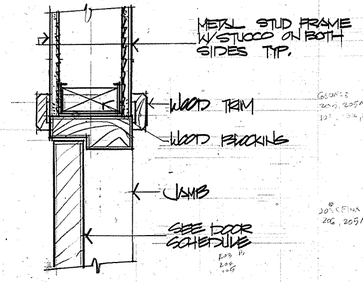
3 **BIFOLD HEAD**
3"=1'-0"



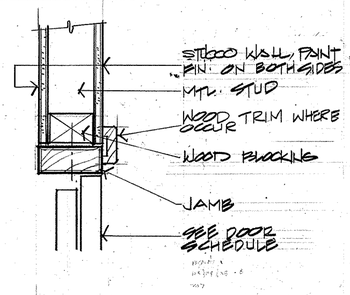
17 **BASE DETAIL**
NTS



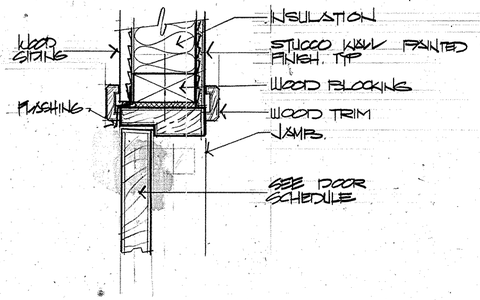
13 **HEAD**
3"=1'-0"



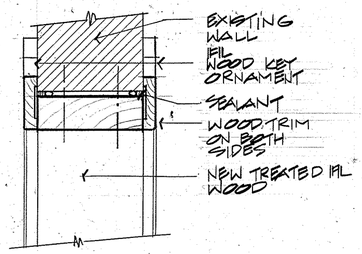
9 **HEAD / JAMB SIM.**
1/2"=1'-0"



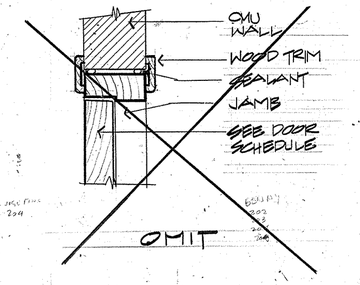
5 **JAMB**
3"=1'-0"



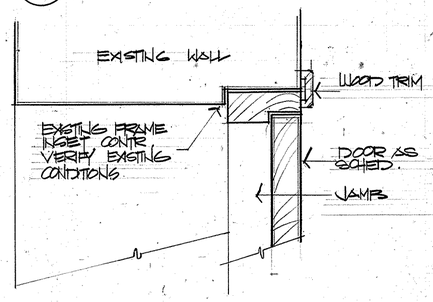
2 **HEAD / JAMB SIM.**
3"=1'-0"



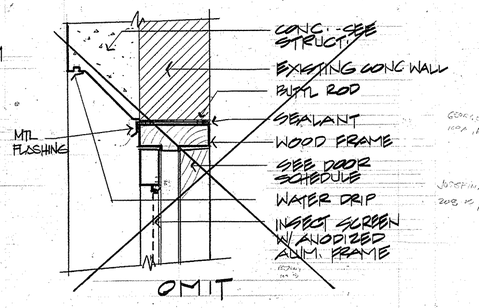
16 **DETAIL**
3"=1'-0"



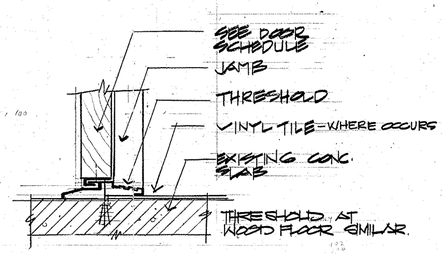
12 **HEAD**
3"=1'-0"



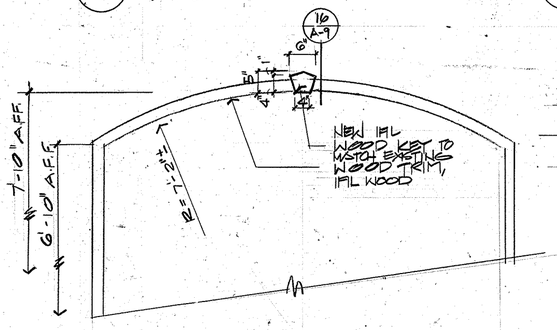
8 **HEAD**
3"=1'-0"



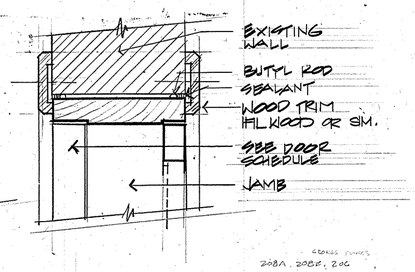
4 **HEAD**
3"=1'-0"



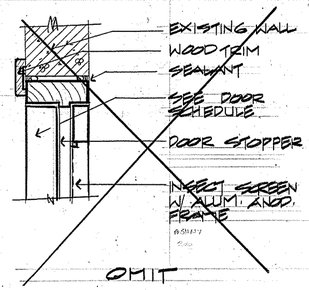
1 **THRESHOLD**
3"=1'-0"



15 **DETAIL**
3/4"=1'-0"



11 **HEAD / JAMB SIM.**
3"=1'-0"



7 **HEAD**
3"=1'-0"

The undersigned confirms hereby acknowledge that all design and payment issues shown on this page have been explained by the GPT. By signing below, they acknowledge that they understand and approve these issues.

Owner — Date 10-19-96
Owner — Date
Owner — Date
Owner — Date

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.
CONTRACT NO.
DATE: 05/15/96
DESIGN BY: ERN
DRAWN BY: JS
CHECKED BY: ERN

I CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ERIC R. NELSON — CERTIFICATE No. 211 — REGISTERED ARCHITECT — GUAM

AS DEFINED IN TITLE XVIII OF THE RULES AND REGULATIONS OF THE PROFESSIONAL ENGINEERS, ARCHITECTS, AND LAND SURVEYORS OF THE TERRITORY OF GUAM.

GUAM PRESERVATION TRUST

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

DOOR DETAILS

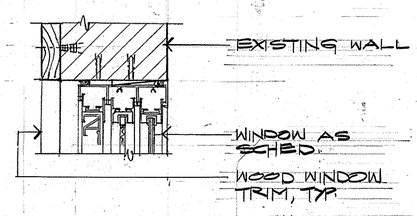
RECOMMENDED APPROVAL — DATE: 11-19-96

GUAM PRESERVATION TRUST — DATE:

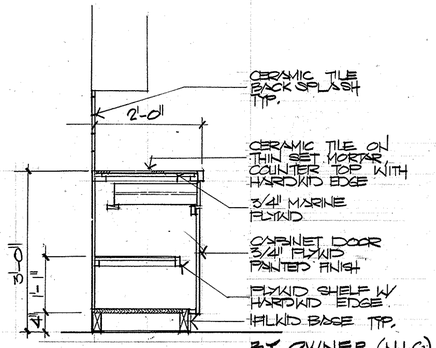
HNC ARCHITECTS, INC
SUITE 300
316 HERNAN CORTES
AGANA, GUAM 96910
TEL: (671) 477-2111
FAX: (671) 477-2125

DRAWER NO.
DRAWING NUMBER: A-9
SHEET 9 OF 14

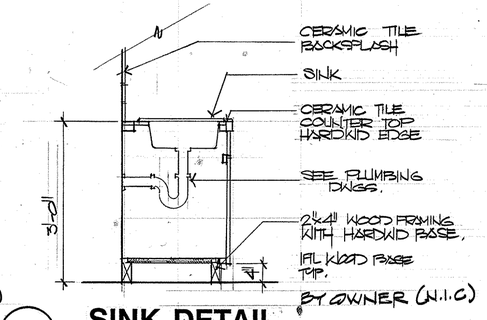
GRIDS A-9
BD A-9 THRU C DETAILS



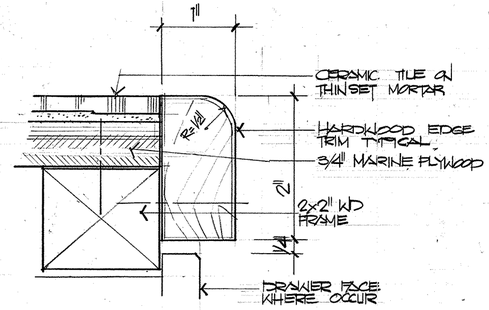
15 **HEAD DETAIL**
3" = 1'-0"



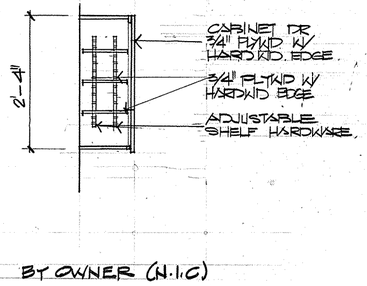
11 **CABINET DETAIL**
3/4" = 1'-0"



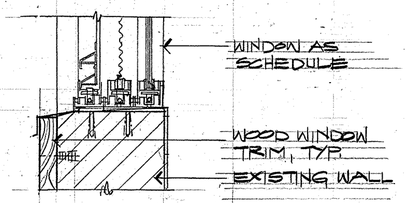
7 **SINK DETAIL**
3/4" = 1'-0"



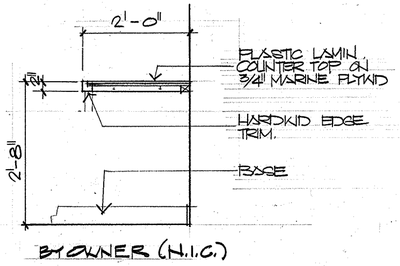
4 **TRIM DETAIL**
N.T.S.



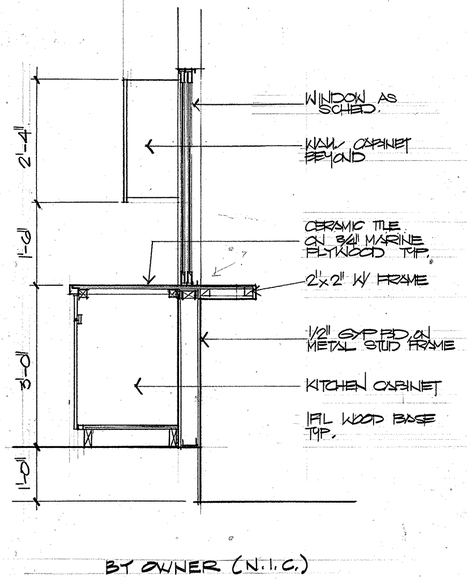
2 **CABINET DETAIL**
3/4" = 1'-0"



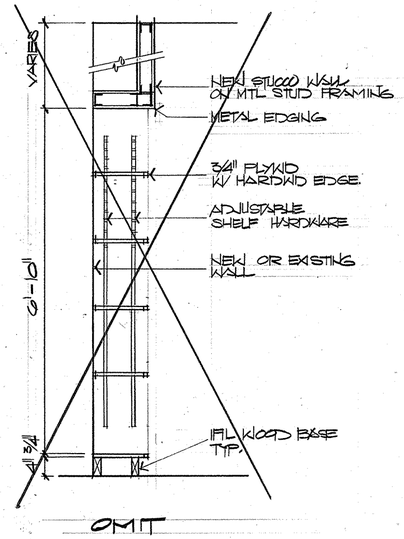
14 **SILL DETAIL**



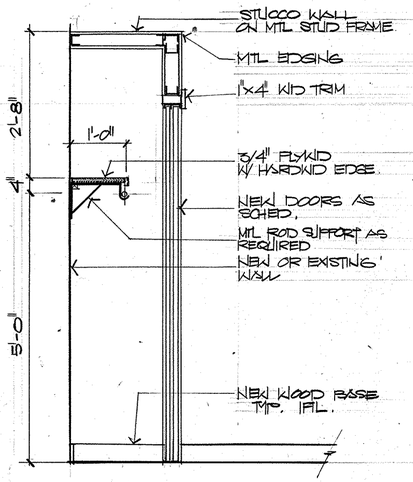
10 **DESKTOP DETAIL**



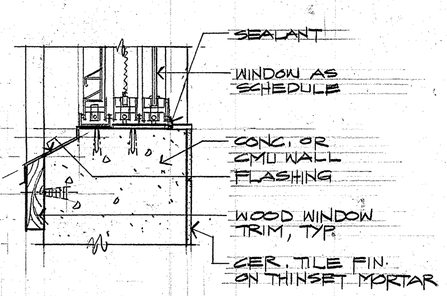
6 **PASSTHRU DETAIL**



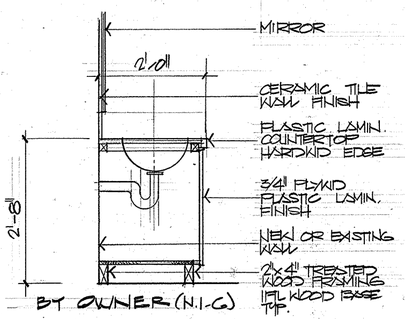
3 **BOOK SHELVES**



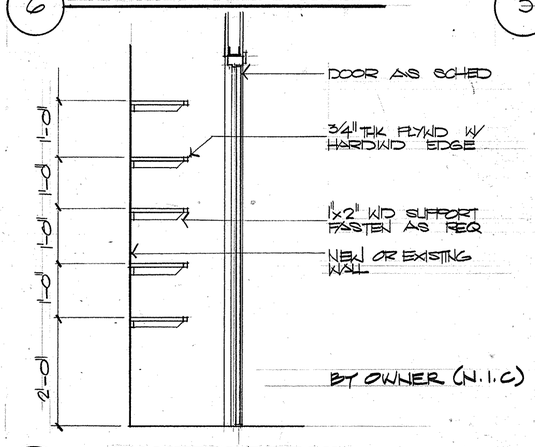
1 **CLOSET DETAIL**



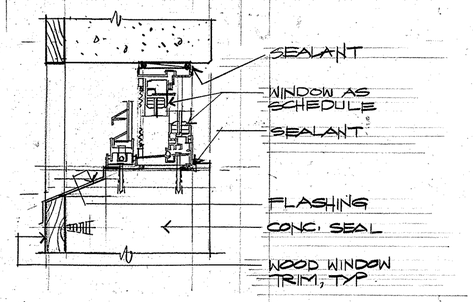
13 **SILL DETAIL**



9 **VANITY DETAIL**



5 **PANTRY DETAIL**



12 **HEAD/SILL DETAIL**
3" = 1'-0"

The undersigned declares hereby acknowledge that all design and provided issues shown on this page have been completed by the GPT. By signing below, I/we acknowledge that it is understood and approve these issues.

Owner: Gloria Flores Date: 10-18-96
Owner: Date:
Owner: Date:
Owner: Date:

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.
CONTRACT NO.
DATE: 08/15/96
DESIGN BY: ERN
DRAWN BY: JS
CHECKED BY: ERN

I CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

ERIC R. NELSON — CERTIFICATE No. 241 — REGISTERED ARCHITECT — GUAM

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

MISC. DETAILS, CASE WORK

RECOMMENDED APPROVAL DATE:

GUAM PRESERVATION TRUST DATE:

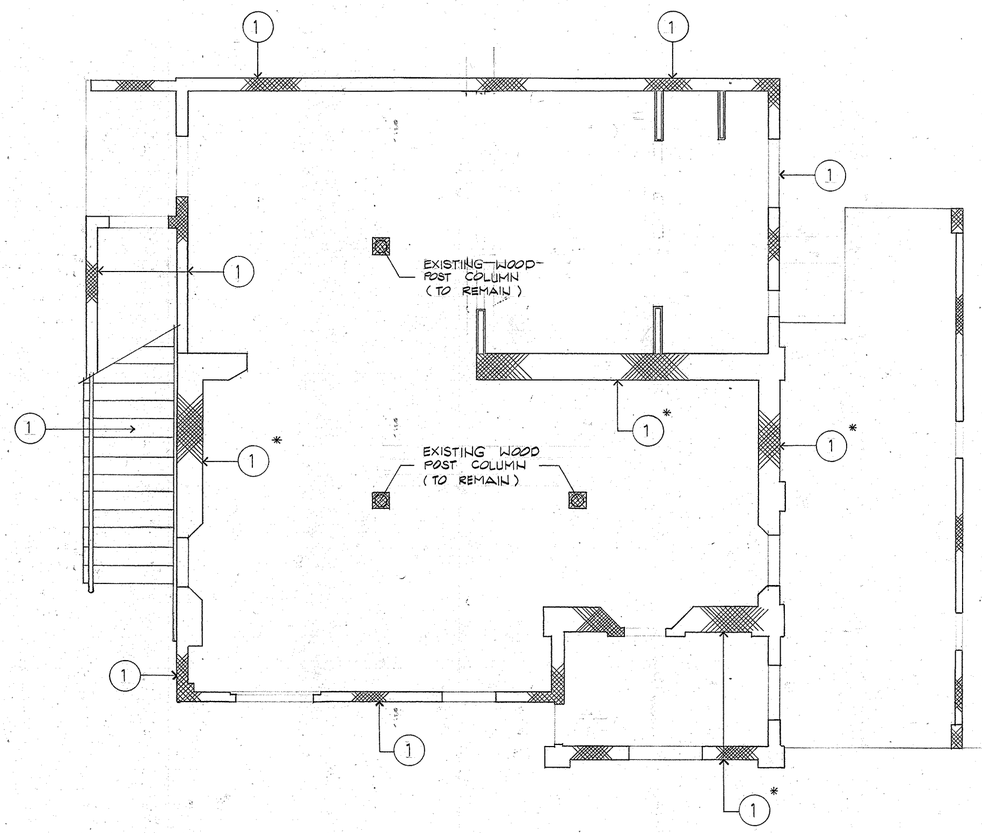
HNC ARCHITECTS, INC.
SUITE 300
316 HERNAN CORTES
AGANA, GUAM 96910
TEL: (671) 477-2111
FAX: (671) 477-2125

DRAWER NO.
DRAWING NUMBER: A-10
SHEET 10 OF 14

1-AS DEFINED IN TITLE XVIII OF THE RULES AND REGULATIONS OF THE PROFESSIONAL ENGINEERS, ARCHITECTS, AND LAND SURVEYORS OF THE TERRITORY OF GUAM.

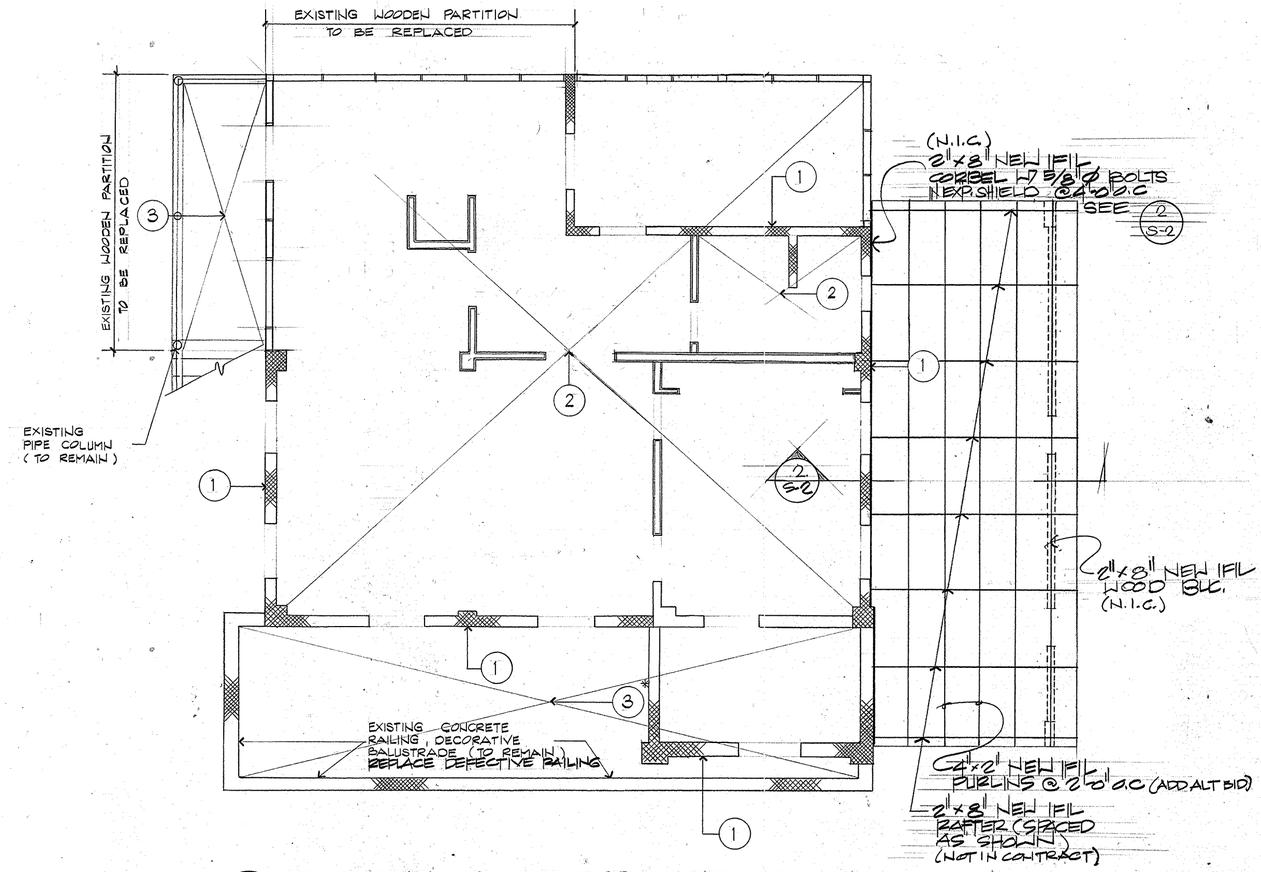
GEORGE A-10

CABINET DETAILS



A S-1 FOUNDATION PLAN

SCALE 1/4" = 1'-0"



B S-1 SECOND FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"

NOTE:

FOR CONN. OF EXISTING WALL TO NEW WALL PROVIDE 1/2"Ø EXPANSION SHIELD W/ 3 1/2" LONG THREADED BOLTS WELDED TO NEW HOR'Z. BARS SPACING.

DRAWING LEGEND:

- NEW CMU WALL
- EXISTING WALL
- NEW INTERIOR PANEL

STRUCTURAL NOTES

GENERAL NOTES:

1. GENERAL NOTES AND TYPICAL DETAILS SHALL APPLY TO ALL ALL DRAWINGS UNLESS OTHERWISE SHOWN OR NOTED.
2. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND SHALL APPLY GENERALLY TROUGHOUT FOR SIMILAR CONDITIONS. MODIFY TYPICAL DETAILS AS REQUIRED TO MEET SPECIAL CONDITIONS.
3. THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES HE MAY FIND BEFORE PROCEEDING WITH THE WORK OR DURING THE CONSTRUCTION.
4. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE LATEST APPLICABLE STANDARDS OR SPECIFICATIONS. ALL WORK SHALL CONFORM WITH THE PROPER PRACTICE PREVAILING IN THE VARIOUS TRADES.
5. INSPECTION- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION. EXAMINATION AND TESTING BY THE ENGINEER. THE ENGINEER SHALL HAVE THE RIGHT TO REJECT DEFECTIVE MATERIALS AND WORKMANSHIP OR REQUIRE ITS CORRECTION.
6. UNLESS SPECIFICALLY DETAILED ELSEWHERE CONTRACTOR SHALL FOLLOW TYPICAL DETAIL AS INDICATED.
7. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING THE WORK AMONG VARIOUS TRADES AS NECESSARY TO AVOID CONFLICTS AND TO INSURE THE INSTALLATION OF ALL WORK WITHIN THE AVAILABLE SPACE.
8. DO NOT SCALE DRAWINGS.CALLED-OUT DIMENSIONS AND STANDARD CODE REQUIREMENTS SHALL GOVERN OVER SCALED DRAWINGS.

REINFORCED CONCRETE NOTES:

1. ALL CONCRETE SHALL DEVELOP A MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT THE END OF 28 DAYS. AS FOLLOWS:

   FOOTING, SLAB ON GRADE AND ALL OTHER STRUCTURAL CONCRETE.....f'c = 3000 PSI

2. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST CODE OF THE AMERICAN CONCRETE INSTITUTE (ACI 318-83).
3. REINFORCING BARS, ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURED IN PLACE BEFORE POURING CONCRETE BAR PLACEMENT AND SUPPORTS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATION OF THE ACI.
4. ALL INSERTS, ANCHOR BOLTS,PLATES,ETC. TO DE EMBEDDED IN CONCRETE SHALL BE HOT DIP GALVANIZED UNLESS NOTED OTHERWISE.
5. IN GENERAL, THE LATEST EDITION OF "MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" ACI 315 SHALL BE ADHERED TO, UNLESS SHOWN OTHERWISE.
6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE SHORING AND BRACING TO ALL STRUCTURES AGAINST ALL LOADS THAT MAY BE IMPOSED DURING CONSTRUCTION.
7. 48 HOURS PRIOR TO THE POURING OF ANY STRUCTURAL CONRETE THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO AN INSPECTION CAN BE MADE ON ALL FORMS AND REINFORCING.
8. CONCRETE SAMPLES (MINIMUM 3 EA.) SHALL BE TAKEN FROM EACH POUR.

DESIGN CRITERIA

1. APPLICABLE CODES AND REFERENCES:
   a. ACI 318-89
   b. UBC 1991
   c. GOV'T. OF GUAM BLDG. CODE XXXII
2. LOADS:
   a. ROOF LIVE LOAD..... 20 psf
   b. FLOOR LIVE LOAD..... 40 psf
   c. WIND LOADS (Wind Velocity)... 155 mph
   d. SEISMIC RISK..... Zone 3
3. MATERIALS:
   a. CONCRETE:SLAB ON GRADE.....f'c= 2.5 ksi
      ALL OTHERS.....f'c= 3.0 ksi
   b. REINFORCING STEEL.....fy = 40.0 ksi ASTM A-615
   c. CONCRETE MASONRY UNITS.....f'm= 1.35 ksi ASTM C-90 Grade NII
   d. TIMBER:
      Phil. Mahogany " IFIL "
      67% Stress Graded..... Fb = 1.60 ksi
      Fv = 0.11 ksi
      E = 1.800 ksi
4. SOIL CAPACITY (ASSUMED)
   a. BEARING (D+L).....FB = 2.50 ksi
   b. BEARING (TOTAL).....FBt= 3.30 ksi
   c. FOOTING EXCAVATIONS SHALL BE INSPECTED BY THE ENGINEER TO VERIFY THE ASSUMED SOIL CAPACITIES.

CONSTRUCTION NOTES:

1. EXISTING ADOBE/ CMU WALLS:
   EXISTING ADOBE/CMU WALLS TO REMAIN, REPAIR ALL CRACKS, CHIP-OFF, CLEAN AND PROVIDE EPOXY BONDING COMPOUND PRIOR TO CONCRETING OR WITH NON-SHRINK GROUT.
2. EXISTING WOODEN FLOOR:
   EXISTING WOODEN FLOOR TO REMAIN, REPLACE ALL DAMAGED/ MISSING FLOOR WITH NEW FLOORING OF SAME SIZE AND SPECIE INCLUDING GIRTS AND PURLINS.
3. EXISTING CONCRETE FLOOR:
   EXISTING CONCRETE FLOOR TO REMAIN, REPAIR ALL CRACKS AND PROVIDE EPOXY BONDING COMPOUND PRIOR TO CONCRETING. (UNLESS OTHERWISE NOTED).

* CORE TEST REQUIRED

The undersigned acknowledge that all design and copyright issues shown on this drawing have been explained by the Client, by signing below, the undersigned feel we understand and approve those issues.

George Flores 10-18-96
Owner Date

Owner Date

Owner Date

Owner Date

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.

CONTRACT NO. PTA91-025

DATE: 09/19/96

DESIGN BY: NGM

DRAWN BY: NLC

CHECKED BY: NGM

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

FOUNDATION PLAN, SECOND FLOOR FRAMING PLAN & STRUCTURAL NOTES

RECOMMENDED APPROVAL DATE:

GUAM PRESERVATION TRUST DATE:

DRAWER NO:

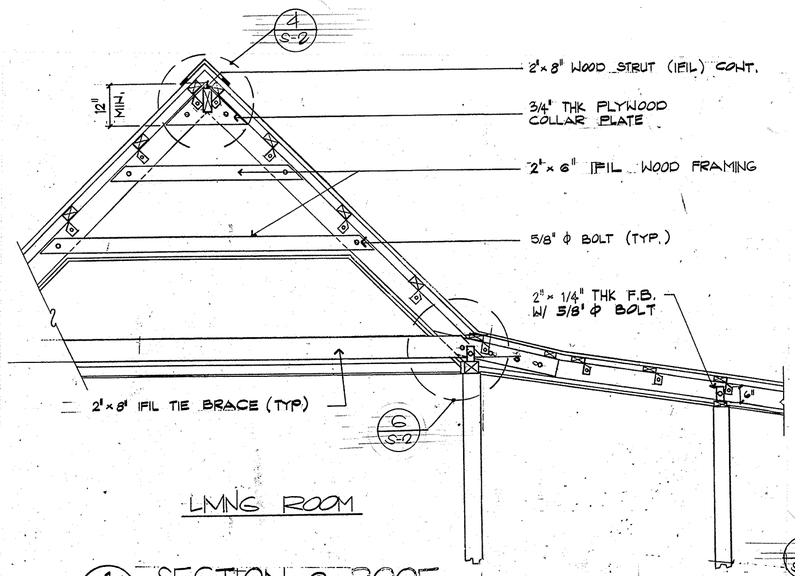
DRAWING NUMBER: S-1

SHEET 11 OF 14

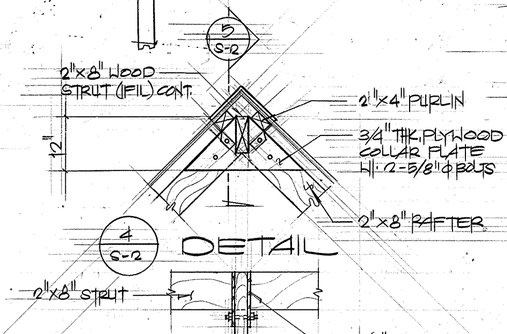
NEMESIO G. MARTINEZ JR. CERTIFICATE No. 607 TERRITORY OF GUAM REGISTERED PROFESSIONAL ENGINEER

"I hereby certify that this plan was prepared by me or under my direct supervision."

DATE: 5/28/92

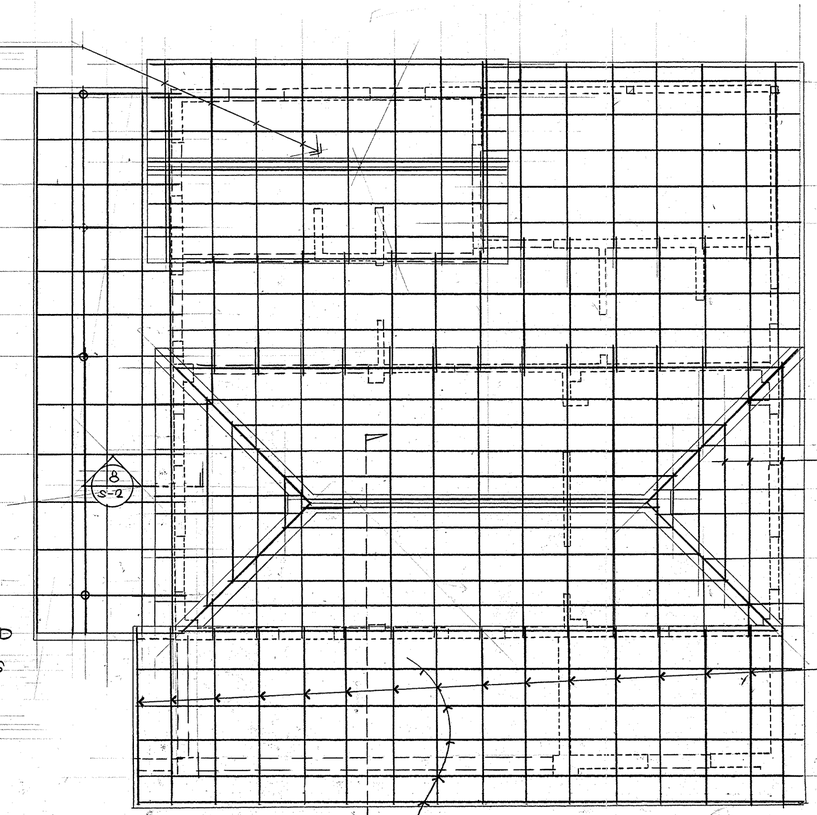


1 S-2 SECTION @ ROOF
SCALE 1/2" = 1'-0"

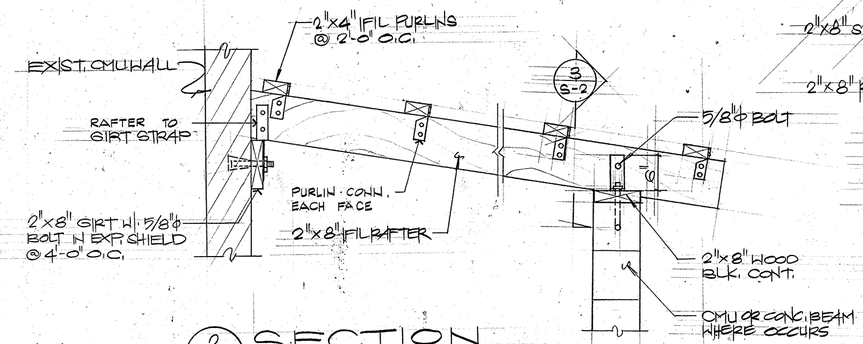


4 S-2 DETAIL

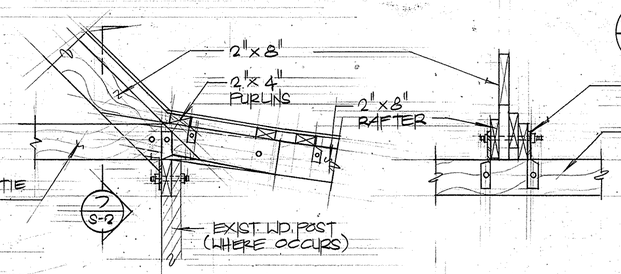
5 S-2 SECTION
SCALE 3/4" = 1'-0"

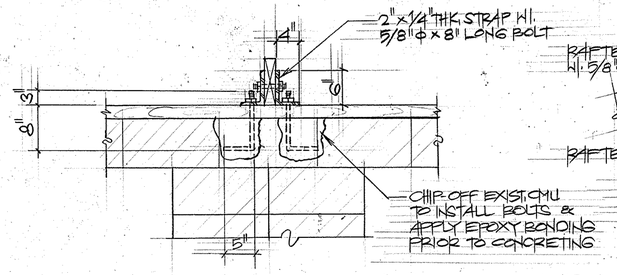


A S-2 ROOF FRAMING PLAN (NEW)
SCALE 1/4" = 1'-0"

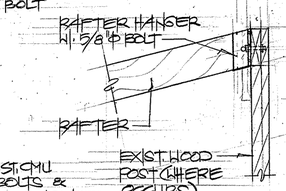


2 S-2 SECTION
SCALE 1" = 1'-0"





3 S-2 SECTION
SCALE 1" = 1'-0"



6 S-2 DETAIL
SCALE 3/4" = 1'-0"

7 S-2 SECTION
SCALE 3/4" = 1'-0"

8 S-2 SECTION
SCALE 3/4" = 1'-0"

The undersigned owner(s) does hereby acknowledge that all design and payment issues shown on this page have been satisfactory to me. By signing below, I/we acknowledge that I/we understand and approve these issues.

Owner: George Flores Date: 10-10-91
Owner: Date:
Owner: Date:
Owner: Date:

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.
CONTRACT NO. PTA91-025
DATE: 09/15/96
DESIGN BY: NCM
DRAWN BY: NLC
CHECKED BY: NCM

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

ROOF FRAMING PLAN, SECTION & DETAILS

RECOMMENDED APPROVAL DATE: 11-19-96

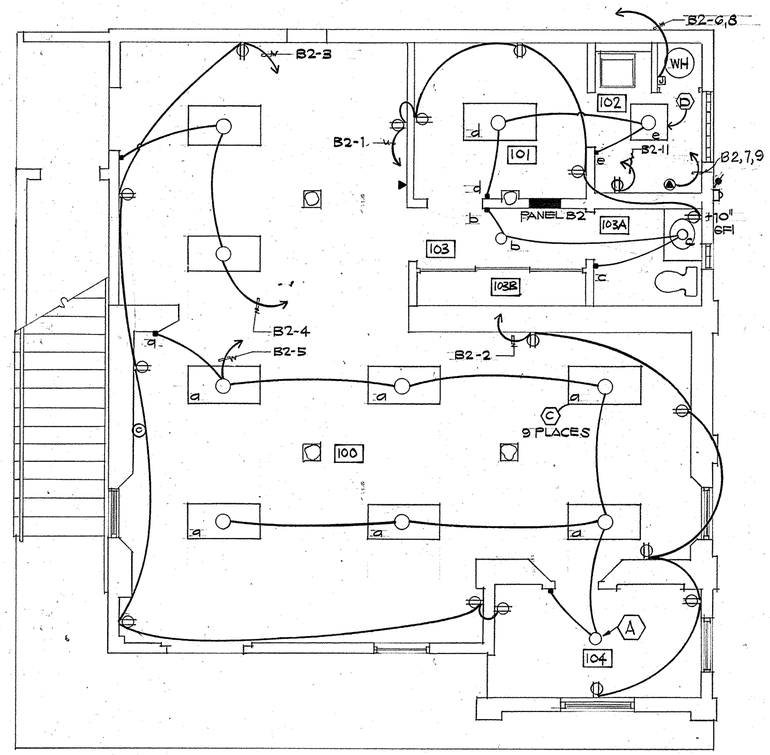
GUAM PRESERVATION TRUST DATE:

ARCHITECTURAL & ENGINEERING CERTIFICATE No. 687 TERRITORY OF GUAM REGISTERED PROFESSIONAL ENGINEER

DRAWER NO:
DRAWING NUMBER: S-2
SHEET 12 OF 14

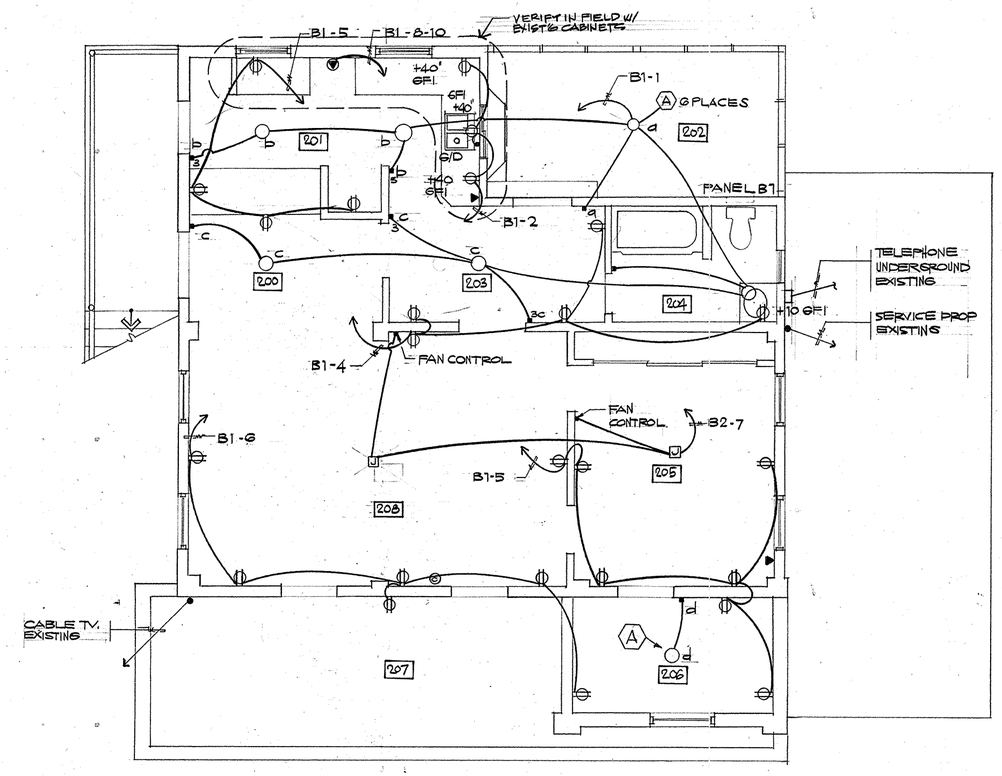
"I hereby certify that this plan was prepared by me or under my direct supervision."

DATE: 5/28/92



NEW BODEGA FLOOR ELECTRICAL PLAN

1 / E-1 SCALE 1/4"=1'-0"



NEW SECOND FLOOR ELECTRICAL PLAN

2 / E-1 SCALE 1/4"=1'-0"

LEGEND

- PANELBOARD
- TELEPHONE OUTLET 12"
- CABLE T.V. OUTLET 12"
- 120V RECEPTACLE
- 240V RECEPTACLE
- TELEPHONE TERMINATION
- CABLE T.V. TERMINATION
- JUNCTION BOX
- GROUND ROD

NOTE:

CABLE T.V. & TELEPHONE ARE EXISTING. CONTRACTOR SHALL WIRE ALL TELEPHONE & CABLE T.V. OUTLETS TO MEET LOCAL UTILITY REQUIREMENTS.

SHEETS E1 - E2 PRE BASE BID
RR 11·19·96

The undersigned declares hereby acknowledge that as design and payment issues shown on this page have been explained by the GPT. By signing below, they acknowledge that they understand and approve those issues.

Owner — Date 11-19-96
Owner — Date
Owner — Date
Owner — Date

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.

CONTRACT NO. PTA91-025

DATE: 05/15/96

DESIGN BY: FB

DRAWN BY: AB

CHECKED BY: FB

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

ELECTRICAL PLANS, LEGEND

RECOMMENDED APPROVAL — DATE: 11·19·96

GUAM PRESERVATION TRUST — DATE:

FRED T. BROKAW CERTIFICATE No. 749 TERRITORY OF GUAM REGISTERED PROFESSIONAL ENGINEER

WINZLER & KELLY CONSULTING ENGINEERS SUITE 904, G.C.I.C. BUILDING AGANA, GUAM 96910 (671) 472-6792

DRAWER NO.

DRAWING NUMBER: E-1

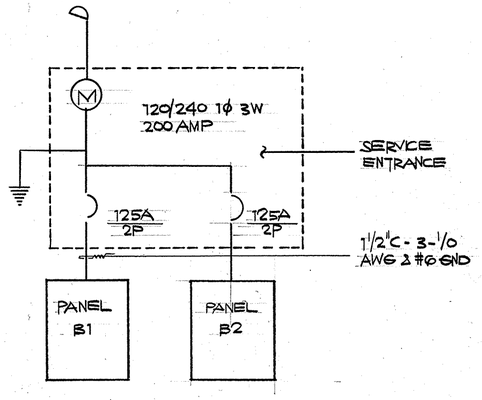
SHEET 13 OF 14

SCHEDULE PANEL B

TYPE 120/240 1Ø 3W 200A BUS — MOUNTING FLUSH

POLE Nº	CIRCUIT SIZE	SERVING	CKT LOAD Ø	CKT LOAD Ø	CKT LOAD Ø	BREAKER FR	BREAKER TRIP	BREAKER FR	BREAKER TRIP	CKT LOAD Ø	CKT LOAD Ø	CKT LOAD Ø	SERVING	CIRCUIT SIZE	POLE Nº
1	#12	RM 103A, 102, 101, 100 RECP.	7.5			20	20	20	20			7.5	RM. 100, 104 RECP.	#12	2
3	#12	RM. 104, 100 RECP.			9	20	20	20	20	5			RM. 100, 103, 103A, 101, 120	#12	4
5	#12	RM. 100, 104 LIGHTS	7			20	20	20	20			14.5	WATER HEATER	#12	6
7	#8	DRYER			20	30	30	-	-	12.5			"	#12	8
9	#8	"	20			-	-	20	20				SPARE		10
11	#12	WASHER			9	20	20								12
13															14
15															16
17															18
19															20
21															22
23															24
25															26
27															28
29															30
31															32
33															34
35															36
37															38
39															40
41															42
						Ø		Ø							
CONNECTED LOAD			31.5		38	52		60		17.5		22			
						+		+							

REMARKS



1 / E-2 **SINGLE LINE DIAGRAM**

SCHEDULE PANEL B:

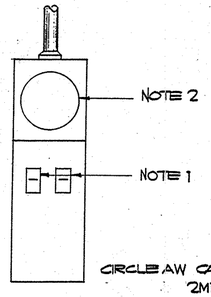
TYPE 120/240 1Ø 3W 200A BUS — MOUNTING FLUSH

POLE Nº	CIRCUIT SIZE	SERVING	CKT LOAD Ø	CKT LOAD Ø	CKT LOAD Ø	BREAKER TR	BREAKER TRIP	BREAKER FR	BREAKER TRIP	CKT LOAD Ø	CKT LOAD Ø	CKT LOAD Ø	SERVING	CIRCUIT SIZE	POLE Nº
1	#12	RM. 201, 200, 203, 204, & 202 LTG.	5			20	20	20	20	4.5			RM. 201 RECP.	#12	2
3	#12	RM. 201 RECP.			4.5	20	20	20	20			10.5	RM. 200, 202, 203, 204, 208 RECP.	#12	4
5	#12	RM. 208, 206, & 205	10.5			20	20	20	20	9			RM. 206, 207, 208	#12	6
7	#12	RM. 205, FAN				20	20	40	40			33	RANGE	#8	8
9		SPARE				20	20	-	-	33			"	#8	10
11		SPARE				20	20								12
13															14
15															16
17															18
19															20
21															22
23															24
25															26
27															28
29															30
31															32
33															34
35															36
37															38
39															40
41															42
						Ø		Ø							
CONNECTED LOAD			15.5		8.5	62		52		46.5		43.5			
						+		+							

REMARKS

FIXTURE SCHEDULE

TYPE	MOUNTING TYPE	MANUFACTURER AND CATALOG NUMBER	LAMPS	VOLTS
A	SURFACE	LITHONIA MP 10278 MUSHROOM	FC12T9CW	120
B				
C	SURFACE	LITHONIA MP 1424 - 2 × 4	F40T12CW ES	120
D	SURFACE	LITHONIA MP 2224 2 × 2	F40CWTU3	120



CIRCLE AW CATALOG 2M11R

NOTE:

1) MAIN BREAKERS ARE 125 AMP.
2) PROVIDE METER FOR 200 AMP

2 / E-2 **SERVICE PANEL**

NOT TO SCALE

SHEETS E1-E2
PRE BASE BID
RR 11.19.96

The undersigned debtors hereby acknowledge that no change and payment issues shown on this page have been explained by the GPT. By signing below, we acknowledge that we understand and agree to these issues.

Owner — Date
Owner — Date
Owner — Date
Owner — Date

REVISION	DATE	BY	DESCRIPTION	APPROVED

PROJECT NO.

CONTRACT NO. PTA91-025

DATE: 03/15/96

DESIGN BY: FB

DRAWN BY: A3

CHECKED BY: FB

GUAM PRESERVATION TRUST

GEORGE FLORES HOUSE

SINGLE LINE DIAGRAM / SCHEDULES / SERVICE PANEL

RECOMMENDED APPROVAL — DATE: 11.19.96

GUAM PRESERVATION TRUST — DATE:

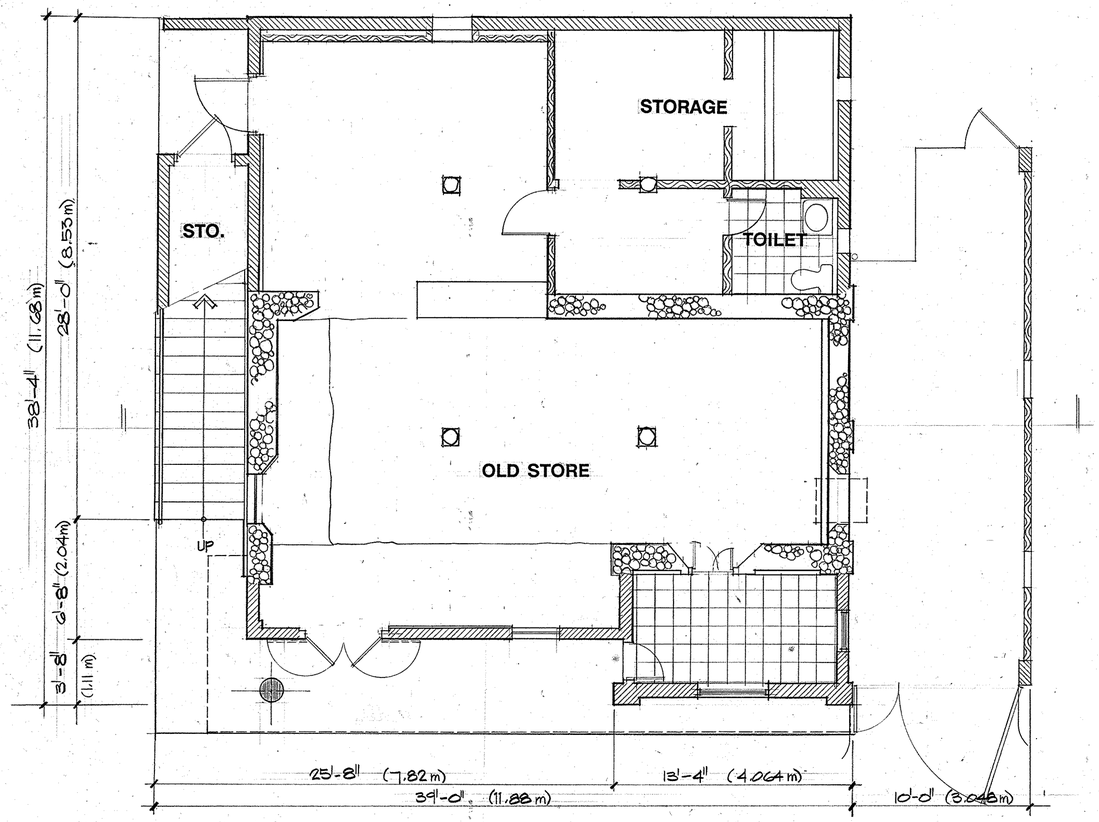
FRED T. BROKAW CERTIFICATE No. 769 TERRITORY OF GUAM REGISTERED PROFESSIONAL ENGINEER

WINZLER & KELLY CONSULTING ENGINEERS
SUITE 904, G.C.I.C. BUILDING AGANA, GUAM 96910 (671) 472-6792

DRAWER NO.

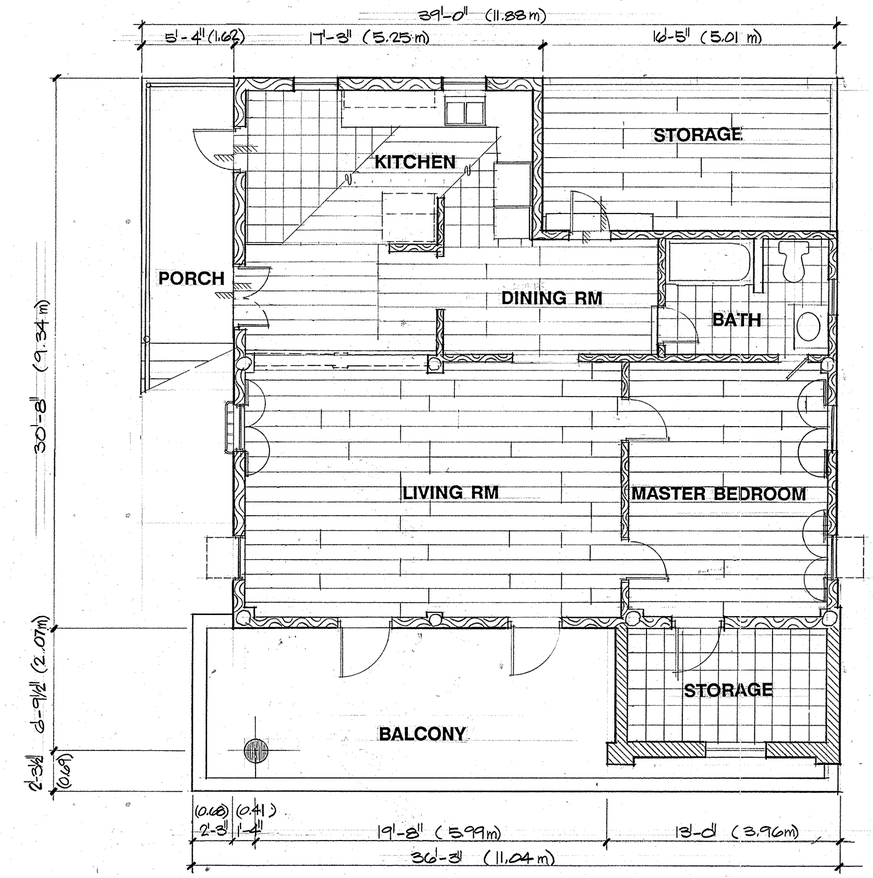
DRAWING NUMBER: E-2

SHEET 14 OF 14



FIRST FLOOR PLAN

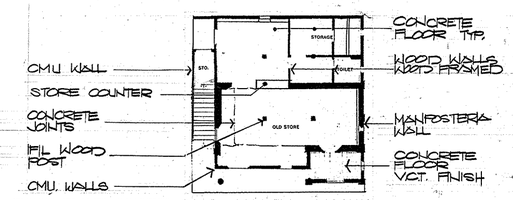
SCALE 1/4" = 1'-0"



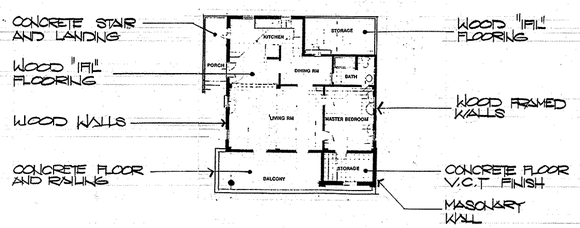
SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

PLAN INDEX



PLAN INDEX



LEGEND

- MANFOSTERIA WALL
- CONCRETE
- CONCRETE MASONARY UNIT
- WOOD

REVISIONS		
No.	Description	Date

American Institute of Architects Guam and Micronesia Chapter

ERIC R. NELSON CERTIFICATE No. 211 TERRITORY OF GUAM REGISTERED ARCHITECT

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION.

Design
Drawn JB
Checked ERN
Date 12-19-91

Guam Preservation Trust
GPT
490 Chalan Palasyo
Agana Heights, Guam
Approved
Date

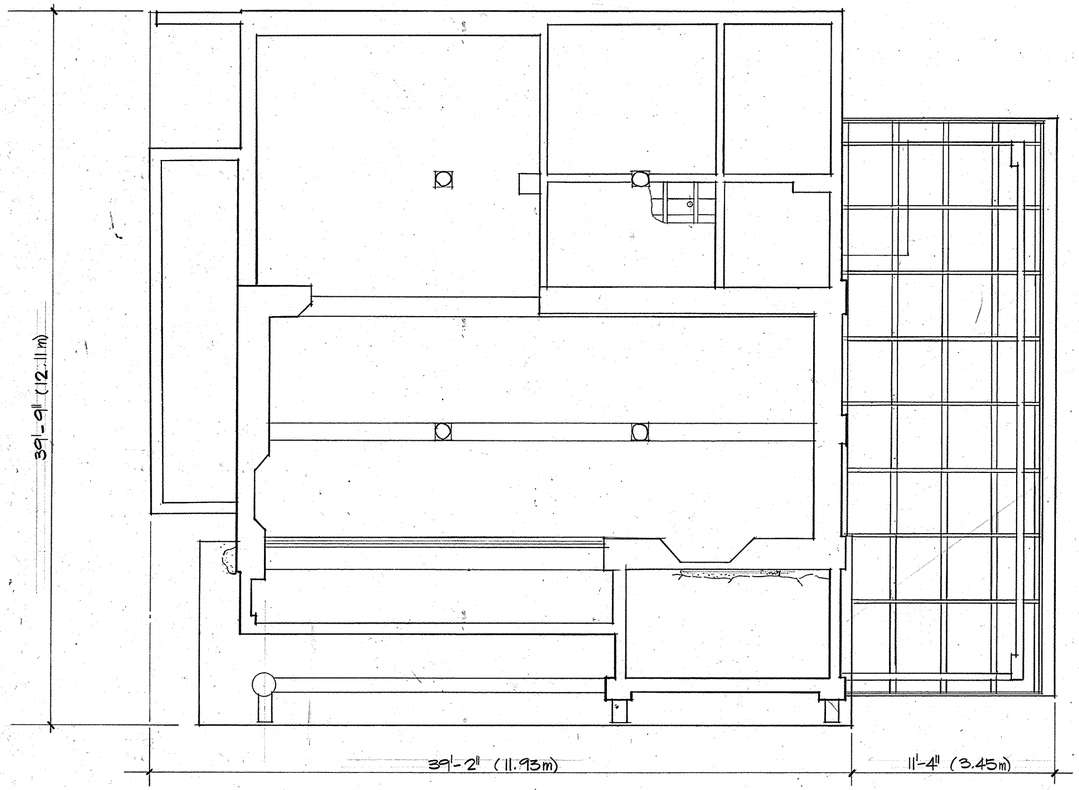
Project
GEORGE SN. FLORES HOUSE

CONTRACT NO.: PTH 91-004
LOT NO.: 63

Title
FIRST & SECOND FLOOR PLAN

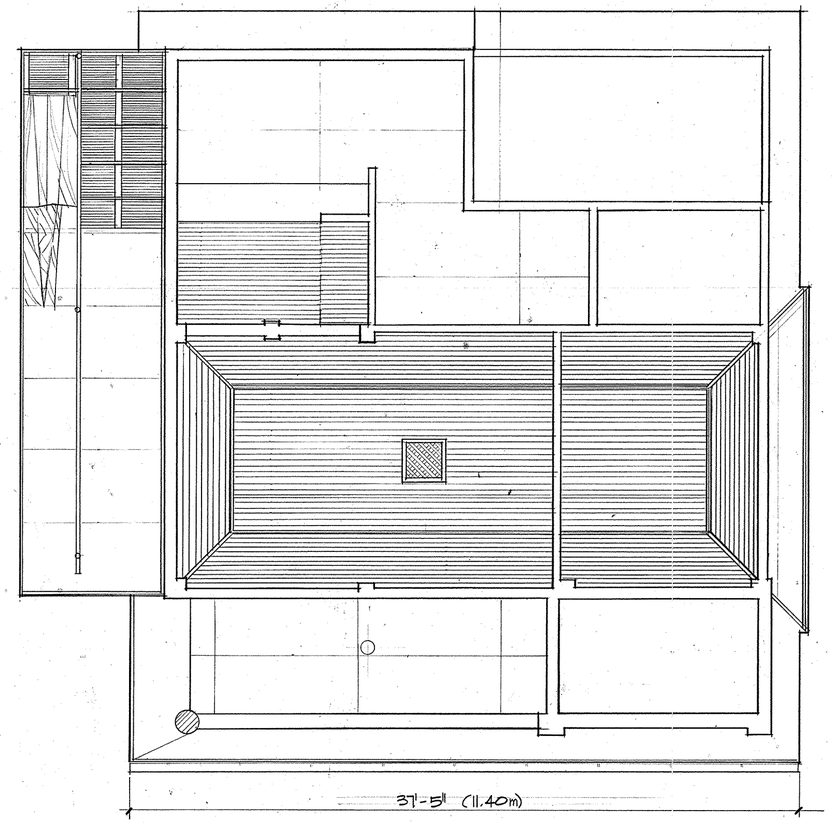
Drawing No. 1

Sheet No. 1 of 5



FIRST FLOOR REFLECTED CEILING

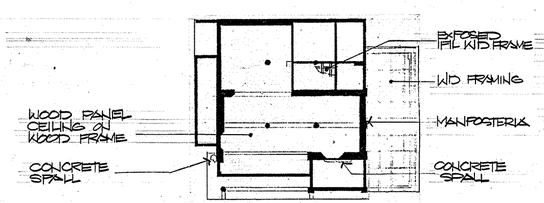
1/4" = 1'-0"



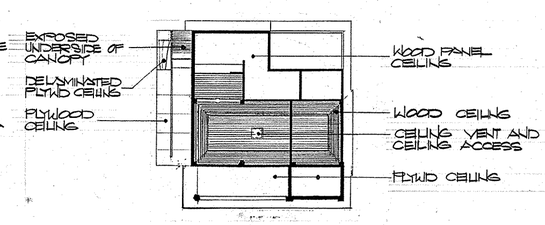
SECOND FLOOR REFLECTED CEILING

1/4" = 1'-0"

PLAN INDEX



PLAN INDEX



REVISIONS		
No.	Description	Date

American Institute of Architects
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ERIC R. NELSON
CERTIFICATE No. 211
TERRITORY OF GUAM
REGISTERED ARCHITECT

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Design
Drawn JS
Checked ERN
Date 12-19-91

Guam Preservation Trust
GPT
490 Chalan Palasyo
Agana Heights, Guam

Approved _____
Date _____

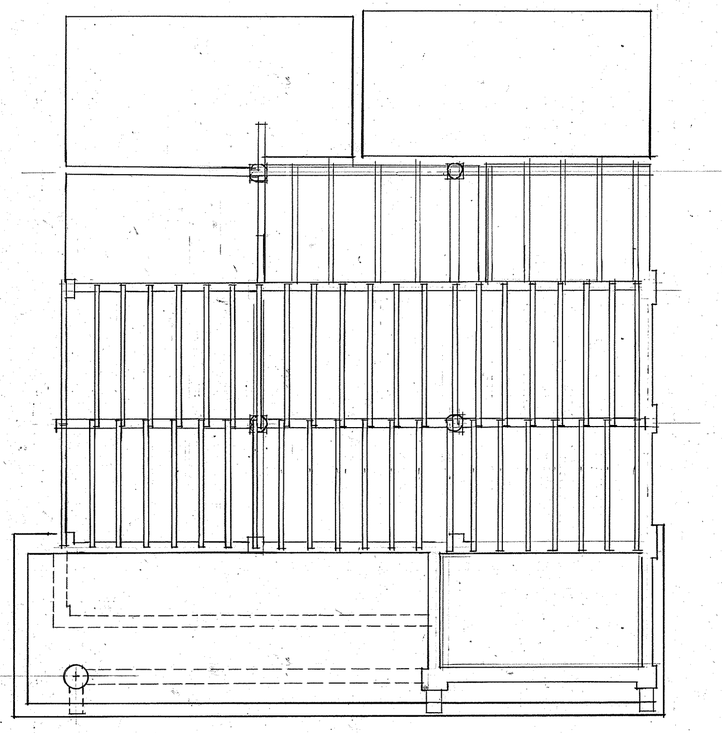
Project
GEORGE S.N. FLORES HOUSE

CONTRACT No.: PTH 91-004
LOT No.: 63

Title
FIRST FLOOR, SECOND FLOOR REFLECTED CEILING PLANS

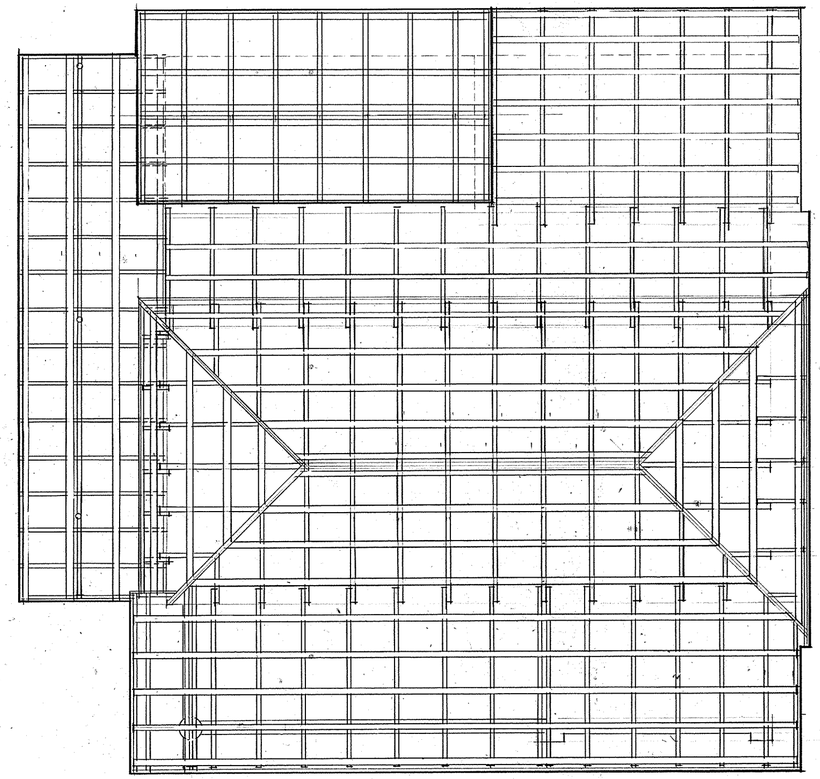
Drawing No. 2

Sheet No. 2 of 5



SECOND FLOOR FRAMING PLAN

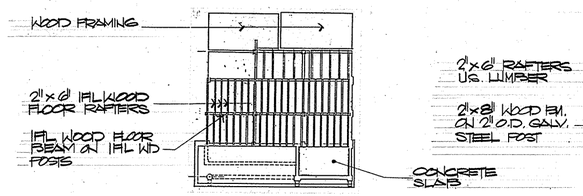
1/4" = 1'-0"



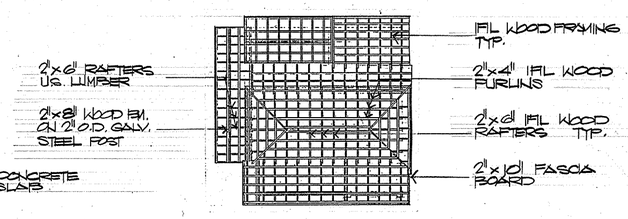
ROOF FRAMING PLAN

1/4" = 1'-0"

PLAN INDEX



PLAN INDEX



REVISIONS

No.	Description	Date

American Institute of Architects
Guam and Micronesia Chapter

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Design
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GPT
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Agana Heights, Guam

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Date _____

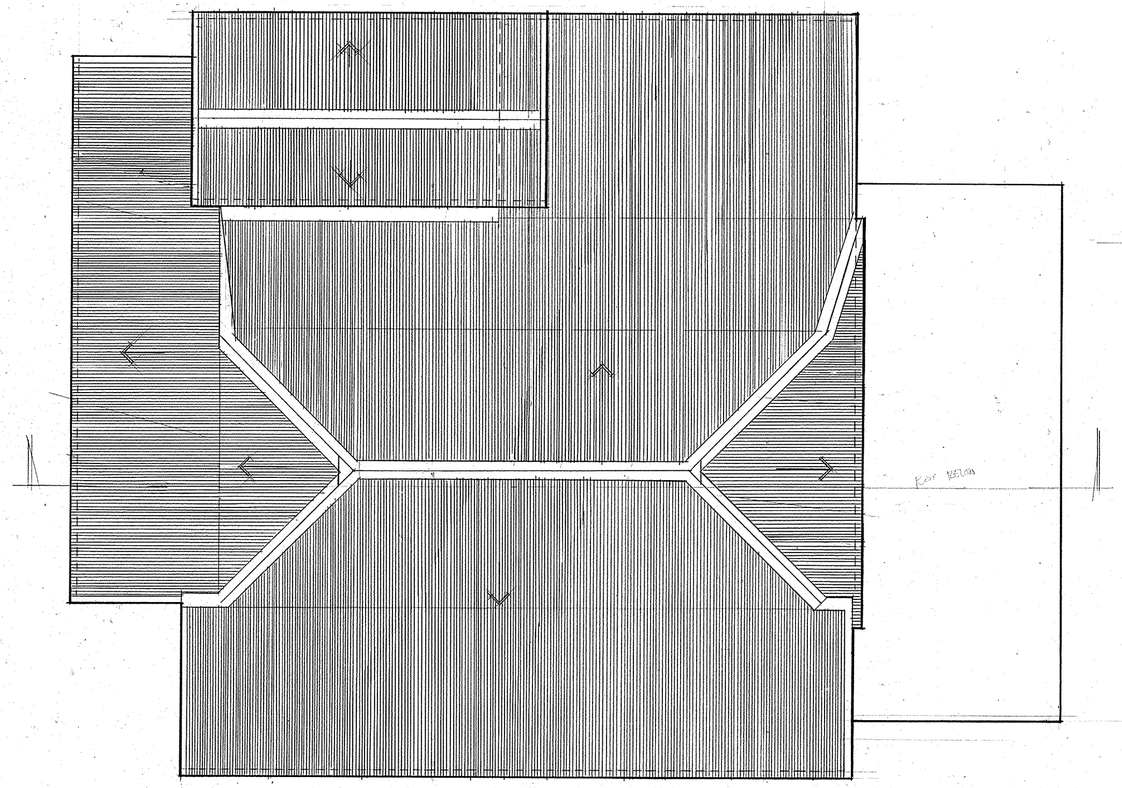
Project
GEORE S.N. FLORES HOUSE

CONTRACT NO. PTH 91-004
LOT NO. 65

Title
SECOND FLOOR FRAMING PLAN
ROOF FRAMING PLAN

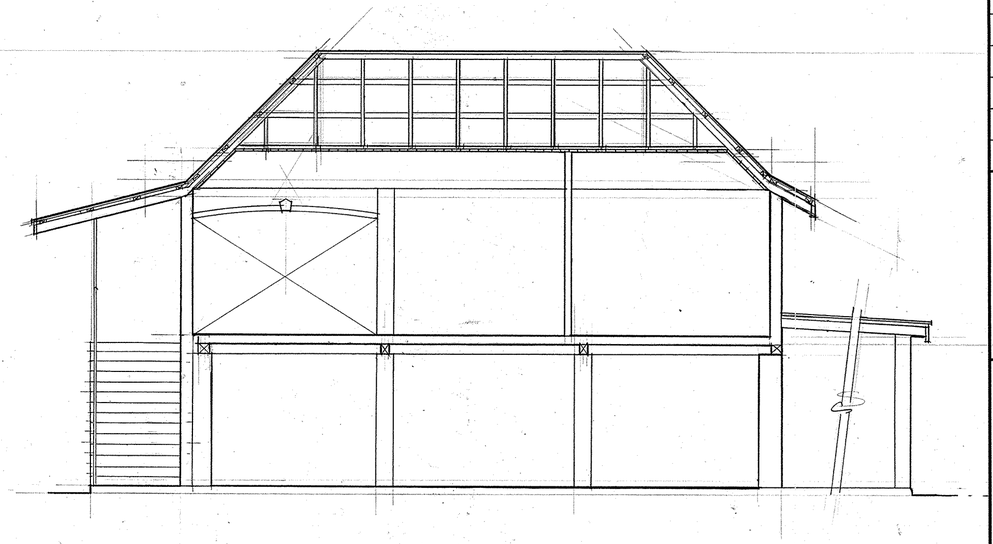
Drawing No. 3

Sheet No. 3 of 5



ROOF PLAN

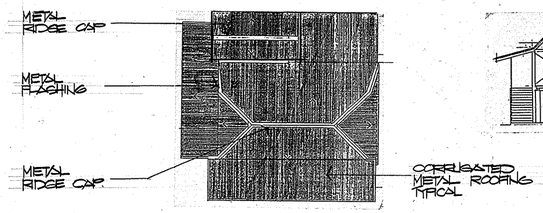
1/4" = 1'-0"



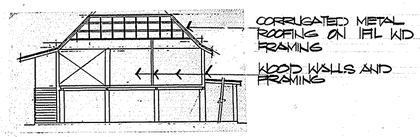
BUILDING SECTION

1/4" = 1'-0"

DRAWING INDEX



DRAWING INDEX



REVISIONS		
No.	Description	Date

American Institute of Architects
Guam and Micronesia Chapter

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TERRITORY OF GUAM
REGISTERED ARCHITECT

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Design

Drawn DL, NMP

Checked ERN

Date 12-19-91

Guam Preservation Trust

GPT

490 Chalan Palasyo
Agana Heights, Guam

Approved _____

Date _____

Project

GEORGE S.N. FLORES HOUSE

CONTRACT NO.: PTH 91-004
LOT NO.: 63

Title

ROOF PLAN
BUILDING SECTION

Drawing No. 4

Sheet No. 4 of 5